APPROVAL BLOCK

EWING TOWNSHIP PLANNING BOARD APPROVAL
APPROVED BY THE PLANNING BOARD OF THE
TOWNSHIP OF EWING, NEW JERSEY.

CHAIRMAN DATE

SECRETARY DATE

PRELIMINARY / FINAL MINOR SITE PLANS

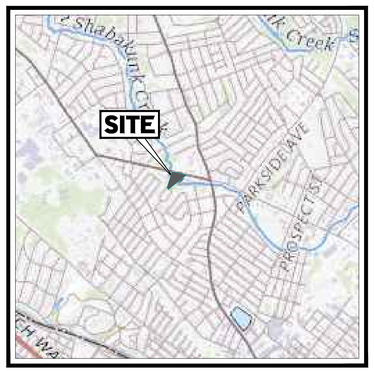
FOR

MCDONALD'S USA, LLC

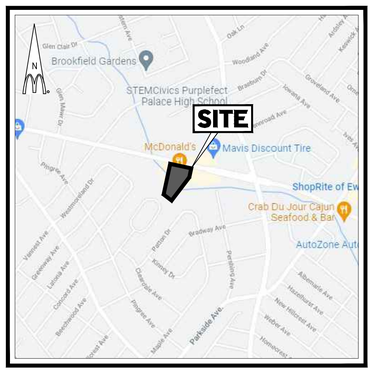
PROPOSED

SITE IMPROVEMENTS FOR RESTAURANT W/ DRIVE-THRU

LOCATION OF SITE:
1885 OLDEN AVENUE
EWING TOWNSHIP
MERCER COUNTY, NEW JERSEY
LOT 2, BLOCK 234.01



U.S.G.S. MAP
SCALE: 1" = 2,000'



LOCATION MAP
SCALE: 1" = 1,000'

SOIL MAP
SCALE: 1" = 200'

DRAWING SHEET INDEX

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PREPARED BY

BOHLER

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MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS
1885 N. OLDEN AVENUE

TOWNSHIP: EWING
STATE: NJ
COUNTY: MERCER

REGIONAL DWG. NO: LC #29-0006
PLAN DESCRIPTION: *COVER SHEET*
CAD FILE: PY210029-CNDS-0A

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

C-101

REV	DATE	DESCRIPTION	BY	ISSUE REF

FINAL PLAN SIGNATURES
P.M.
G.C.
O/O

PLAN APPROVALS
SIGNATURE (2 REQUIRED) | DATE
REGIONAL MGR.
CONST. MGR.
OPERATIONS DEPT.
REAL ESTATE DEPT.
CO-SIGN SIGNATURES
CONTRACTOR
OWNER

McDonald's®

OFFICE: BETHESDA / PHILADELPHIA REGION
ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MD 20817

R:\21\PY210029\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PY210029-CNDS-0A------LAYOUT: C-101 COVER
CR

GENERAL NOTES

(Rev. 2/2021)

1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, PENNSYLVANIA, LLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE ENGINEER OF RECORD AND BOHLER PREPARED THESE PLANS. THE CONTRACTOR MUST FIELD VERIFY ALL EXISTING CONDITIONS AND IMMEDIATELY NOTIFY BOHLER, IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

2. THE CONTRACTOR MUST STRICTLY COMPLY WITH THESE NOTES AND ALL SPECIFICATIONS/REPORTS CONTAINED HEREIN. THE CONTRACTOR MUST ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS, THESE NOTES, AND THE REQUIREMENTS ARTICULATED IN THE NOTES CONTAINED IN ALL THE OTHER DRAWINGS THAT COMPRISE THE PLAN SET OF DRAWINGS. ADDITIONAL NOTES AND SPECIFIC PLAN NOTES MAY BE FOUND ON THE INDIVIDUAL PLANS. THESE GENERAL NOTES APPLY TO THIS ENTIRE DOCUMENT PACKAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE, PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION.

3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE ENGINEER OF RECORD AND BOHLER THAT THE LATEST EDITION OF THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION. THIS IS THE CONTRACTOR'S SOLE AND COMPLETE RESPONSIBILITY.

4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION IS TO BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE CONDITIONS OF APPROVAL TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND HAS ALSO CONFIRMED THAT ALL NECESSARY AND REQUIRED PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

5. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS/REPORTS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT, AND ALL PROVISIONS IN AND CONDITIONS OF THE CONSTRUCTION CONTRACT WITH THE OWNER/DEVELOPER INCLUDING ALL EXHIBITS, ATTACHMENTS AND ADDENDA TO SAME.

6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFULLY REVIEWING THE MOST CURRENT ARCHITECTURAL, CIVIL AND STRUCTURAL CONSTRUCTION DOCUMENTS (INCLUDING, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS, WHERE APPLICABLE). THE CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST BETWEEN THESE PLANS AND ANY OTHER PLANS THAT COMPRISE THE CONSTRUCTION DOCUMENTS.

7. CONTRACTOR MUST REFER TO AND ENSURE COMPLIANCE WITH THE APPROVED ARCHITECTURAL/BUILDING PLANS OF RECORD FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

8. THE CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND MEASUREMENTS SHOWN ON THESE PLANS, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY NOTIFY ENGINEER OF RECORD AND BOHLER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DONE OR REPAIRED DUE TO DIMENSIONS, MEASUREMENTS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO BOTH (A) THE CONTRACTOR GIVING ENGINEER OF RECORD AND BOHLER WRITTEN NOTIFICATION OF SAME AND (B) ENGINEER OF RECORD AND BOHLER, THEREAFTER, PROVIDING THE CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS DUE TO POTENTIAL PRINTING INACCURACIES. ALL DIMENSIONS AND MEASUREMENTS ARE TO BE CHECKED AND CONFIRMED BY THE GENERAL CONTRACTOR PRIOR TO PREPARATION OF SHOP DRAWINGS, FABRICATION/ORDERING OF PARTS AND MATERIALS AND COMMENCEMENT OF SITE WORK. SITE PLAN DRAWINGS ARE NOT INTENDED AS SURVEY DOCUMENTS. DIMENSIONS SUPERSEDE GRAPHICAL REPRESENTATIONS. THE CONTRACTOR MUST MAKE CONTRACTOR'S OWN MEASUREMENTS FOR LAYOUT OF IMPROVEMENTS.

10. THE OWNER AND CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

11. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN: (A) THE PLANS; AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT.

12. ENGINEER OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

13. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE.

14. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

15. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR.

16. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST.

17. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

18. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS, AT ANY TIME.

19. THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING, TO THE ENGINEER OF RECORD AND BOHLER , ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER FOR ANY AND ALL DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING, BUT NOT LIMITED TO, ANY THIRD PARTY AND FIRST PARTY CLAIMS.

20. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER HARMLESS FOR AND FROM ALL INJURIES, CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER INCUR AS RELATED TO SAME.

21. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL UMBRELLA COVERAGES. ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER , AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE (DEFEND, IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN. ALL CONTRACTORS MUST FURNISH BOHLER WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

22. THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

23. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER, NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER PARTIES HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS BOHLER PARTIES FOR AND FROM ANY LIABILITY TO BOHLER PARTIES RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND, FURTHER, THE CONTRACTOR MUST NAME BOHLER AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE.

24. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER'S ATTENTION. BOHLER IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND BOHLER FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, CLAIMS, INJURIES, PENALTIES AND THE LIKE RELATED TO SAME.

26. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY.

27. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN; AND, FURTHER, THE ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND BOHLER INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE.

28. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 ET SEQ.) AS AMENDED, AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

29. THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.

30. THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND BOHLER PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

31. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNLESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.

32. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE ENGINEER OF RECORD AND BOHLER, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S AND BOHLER KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

33. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE SUBMITTALS PREPARED FOR ANY CONSTRUCTION DETAILED ITEMS AND TO COORDINATE THE SUBMITTALS WITH THE RESPECTIVE GOVERNING AGENCIES OR SERVICE PROVIDERS, WHO SHALL HAVE THE FINAL AUTHORITY IN APPROVING THE SUBMITTALS.

DEMOLITION NOTES

(Rev. 2/2021)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY.

3. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL REGULATIONS.

4. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN.
   A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
   B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC.

5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

6. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR NEAR TO THE SAME.

7. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF ALL UNAUTHORIZED PERSONS AT ANY TIME, TO OR NEAR THE DEMOLITION AREA.

8. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS, AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND BOHLER , IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND BY BOHLER, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.

9. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED, REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST:
   A. OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.
   B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK.
   C. INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED
   D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT, IN ADVANCE OF ANY EXCAVATION.
   E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.
   F. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES.
   G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.
   H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF, AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER.
   I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER, THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME.

11. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.

12. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE, WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES WITH JURISDICTION.

13. THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER.

14. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE, NECESSARY AND REQUIRED GOVERNMENTAL AUTHORITIES. PRIOR TO COMMENCING ANY EXPLOSIVE PROGRAM AND/OR ANY DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL, STATE, AND LOCAL GOVERNMENTS REQUIRE. THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE.

15. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST.

16. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO, THE PUBLIC RIGHT-OF-WAY.

17. THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-LIKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST.

18. THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

SITE LAYOUT NOTES

(Rev. 1/2020)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY.

3. ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.

4. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT.

5. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.

DRAINAGE AND UTILITY NOTES

(Rev. 2/2021)

GENERAL

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION. THE CONTRACTOR MUST REPORT ALL DISCREPANCIES, ERRORS AND OMISSIONS IN WRITING, TO THE ENGINEER OF RECORD.

3. THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION.

4. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH, PRIOR TO COMMENCEMENT OF CONSTRUCTION.

5. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS.

6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS; GREASE TRAP REQUIREMENTS; AND DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION, MUST RESOLVE SAME.

7. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST COMPLY WITH APPLICABLE REQUIREMENTS AND SPECIFICATIONS. ENGINEER OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR DESIGN OF TRENCH BACKFILL OR FOR COMPACTION REQUIREMENTS.

8. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE APPROPRIATE PLAN(S), WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK.

9. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS.

11. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

12. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

ACCESSIBILITY DESIGN GUIDELINES

(Rev. 1/2020)

1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED.

2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES.

3. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

   A. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION.

   B. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED), OR AS SPECIFIED BY THE GOVERNING AGENCY. UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.

   C. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES. LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. HAND RAILS ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES.

   D. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT EXCEED A SLOPE OF 1:12 (8.3%).

   E. DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE).

   F. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES.

   G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, PRIOR TO POURING CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES.

4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION.

GRADING NOTES

(Rev. 2/2021)

GENERAL

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2. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED, THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT.

3. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK.

4. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING.

5. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIFY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

6. IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS, THE GRADING PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S).

7. THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS.

SITE SPECIFIC

8. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED.

9. THE CONTRACTOR MUST ENSURE THAT POSITIVE DRAINAGE IS PROVIDED IN BOTH PAVED AND LAWN AREAS AFTER CONSTRUCTION. THE MINIMUM SLOPES FOR IMPROVEMENTS ARE 1% ON ALL CONCRETE SURFACES, 1.5% MINIMUM IN ASPHALT (EXCEPT WHERE ADA LIMITS SLOPE), AND 2% IN LAWN AREAS. ANY LOCALIZED DEPRESSIONS MUST BE ELIMINATED.

10. THE CONTRACTOR MUST ENSURE POSITIVE DRAINAGE AWAY FROM STRUCTURES. WHERE THE GRADING ALONG AND ADJACENT TO A BUILDING ARE SCHEMATIC DUE TO A GENERIC BUILDING FOOTPRINT, THE GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE THE MINIMUM REVEAL AS REQUIRED BY THE ARCHITECT AND TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. ALL GRADING AND MINIMUM SLOPES AND SEPARATIONS MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES, AND CODES.

11. WHERE SUBGRADE BUILDING AREAS ARE PROVIDED, THE CONTRACTOR MUST DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED SUBGRADE BUILDING AREA. WHERE GROUNDWATER IS ENCOUNTERED AT THE ELEVATION OF THE SUBGRADE BUILDING AREA, APPROPRIATE CONSTRUCTION METHODS SHALL BE EMPLOYED TO PREVENT GROUNDWATER FROM ENTERING THE STRUCTURE(S). IF AND WHERE SUMP PUMPS ARE PROVIDED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER OR OTHERWISE PROTECTED FROM CAUSING SURFACE RUNOFF EROSION.

12. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A GEOTECHNICAL ENGINEER AND IMPLEMENT RECOMMENDED STABILIZATION MEASURES FOR ANY CUT SLOPES IN EXCESS OF 2:1 AND/OR FILL SLOPES IN EXCESS OF 3:1.

13. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS OR GEOTECHNICAL SPECIFICATIONS.

14. THE TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF THE WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL, WHICH MAY INCLUDE CAP UNITS AND FOOTINGS. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURE DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT THE WALLS SHOWN HEREON MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND THAT SIGNED AND SEALED SHOP DRAWINGS ARE APPROVED BY THE MUNICIPALITY PRIOR TO THEIR CONSTRUCTION. ADDITIONALLY, THE CONTRACTOR SHALL ENSURE THAT FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE FEATURES IN THE VICINITY OF THE WALL(S), SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGNS (BY OTHERS).

15. ALL DISTURBED TOPSOIL ON THE SITE IS TO BE REDISTRIBUTED ON SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES. REMOVAL OF TOPSOIL IS NOT ALLOWED, UNLESS OTHERWISE SPECIFIED BY THE SITE GEOTECHNICAL ENGINEER DUE TO THE SOIL'S UNSUITABILITY FOR PLACEMENT.

SITE SPECIFIC NOTES

1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON THE BELOW PLAN REFERENCES;
   SURVEY
   CONTROL POINT ASSOCIATES, INC.
   1300 ROUTE 73, SUITE 211
   MT. LAUREL, NJ 08054
   ENTITLED: "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY"
   PREPARED FOR: "MCDONALD'S USA, LLC"
   PROJECT NO.: 02-100043-01
   DATED: 06-23-2022

2. PROPERTY OWNER:
   MCDONALD'S CORPORATION

3. EXISTING PROPERTY INFORMATION:
   LOT 2, BLOCK 234.01
   ZONED: B-H BUSINESS, HIGHWAY DISTRICT
   USE: FAST FOOD RESTAURANT W/ DRIVE THRU (EXISTING USE)

4. APPLICANT:
   MCDONALD'S USA, LLC
   C/O EILEEN SEEBURGER
   6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817

5. ALL CURB AND PAVEMENT RADII ARE 5', UNLESS OTHERWISE NOTED.

6. ALL ADA ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT REQUIREMENTS, AS NEEDED.

7. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

8. FEATURES TO BE REMOVED ARE NOTED (TBD).

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74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
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NEW JERSEY LICENSE No. 24GE04493300
DELAWARE LICENSE No. 18313

MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS
1885 N. OLDEN AVENUE

TOWNSHIP	STATE
EWING	NJ

COUNTY
MERCER

REGIONAL DWG. NO	PLAN DESCRIPTION
LC #29-0006	NOTES SHEET

CAD FILE: PY210029-CNDS-0A

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

C-102

ISSUE REF	BY	DESCRIPTION	DATE	REV

FINAL PLAN SIGNATURES
P.M. ______
G.C. ______
O/O ______

McDonald's ®

OFFICE	BETHESDA / PHILADELPHIA REGION
ADDRESS	6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

PLAN APPROVALS

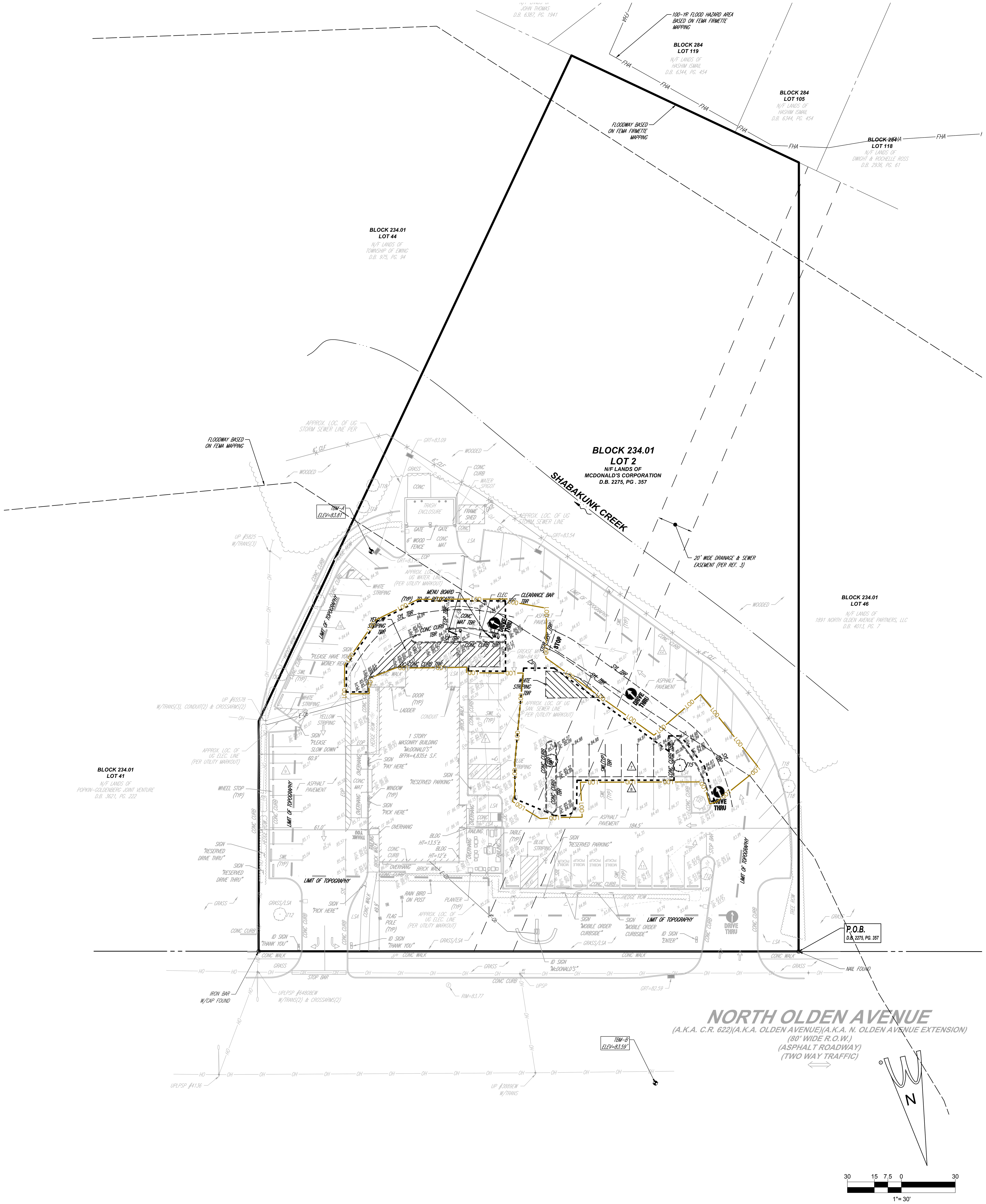
SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	

CO-SIGN SIGNATURES

CONTRACTOR	
OWNER	

R:\21\PY210029\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PY210029-CNDS-0A----->LAYOUT: C-102 NOTES

CR



LEGEND

EXISTING

- PROPERTY LINE
- R.O.W. LINE
- ADJACENT PROPERTY LINE
- MUNICIPAL BOUNDARY LINE
- SETBACK LINE
- BUILDING
- RETAINING WALL
- CONCRETE CURB
- FLUSH CURB
- FENCE
- CONTOUR
- CONCRETE MONUMENT/ IRON PIN
- SIGN
- PARKING COUNT
- AREA LIGHT
- DRAINAGE INLET
- STORM/SANITARY MANHOLE
- WATER/GAS VALVES
- ROOF DRAIN/CLEANOUT
- UTILITY POLE
- OVERHEAD UTILITY WIRES
- ELECTRIC LINE
- GAS LINE
- WATER LINE
- SANITARY SEWER
- STORM PIPE

LEGEND

TO BE REMOVED

- CONCRETE CURB
- CONTOUR
- SPOT ELEVATION
- PARKING COUNT
- AREA LIGHT
- TREE

LEGEND

PROPOSED

- LIMIT OF DISTURBANCE
- SAWCUT

SURVEY NOTES

1. PROPERTY KNOWN AS LOT 2, BLOCK 234.01, AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF EWING, MERCER COUNTY, NEW JERSEY, SHEET NO. 44.

2. AREA = 113,445 SQUARE FEET OR 2.604 ACRES.

3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOESNOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

A QUALITY LEVEL SYSTEM IS UTILIZED TO IDENTIFY THE SOURCE OF THE UNDERGROUND UTILITY INFORMATION. THE METHOD OF DETERMINATION IS BASED ON CONTRACTUAL AGREEMENT WITH THE CLIENT AND IS DEPICTED ON THE SURVEY BY THE LINE TYPES SHOWN IN THE DRAWING LEGEND. FOR REFERENCE, THE QUALITY LEVELS ARE AS FOLLOWS:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING. ALL FOUR TYPES MAY NOT BE PRESENT ON THE SURVEY.

4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.

5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.

6. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE AE (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD), (THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD), ALSO KNOWN AS THE BASE FLOOD, IS THE FLOOD THAT HAS A 1% CHANCE OF BEING EQUALED OR EXCEEDED IN ANY GIVEN YEAR. THE SPECIAL FLOOD HAZARD AREA IS THE AREA SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD. AREAS OF SPECIAL FLOOD HAZARD INCLUDE ZONES A1 AE1 AH1 A01 AR1 A991 V1 AND VE. THE BASE FLOOD ELEVATION IS THE WATER-SURFACE ELEVATION OF THE 1% ANNUAL CHANCE FLOOD.) (BASE FLOOD ELEVATION = 85' (NAVD88)(NGVD29)) PER REF. #2.

7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.

8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:
TBM-A: MAG NAIL SET IN ASPHALT, ELEVATION= 83.81'
TBM-B: MAG NAIL SET IN ASPHALT, ELEVATION= 83.59'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED.
ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

8. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

9. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1 (d).

SITE SPECIFIC NOTES

1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON THE BELOW PLAN REFERENCES;
   SURVEY
   CONTROL POINT ASSOCIATES, INC.
   1300 ROUTE 73, SUITE 211
   MT. LAUREL, NJ 08054
   ENTITLED: "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY"
   PREPARED FOR: "MCDONALD'S USA, LLC"
   PROJECT NO.: 02-100043-01
   DATED: 06-23-2022

2. PROPERTY OWNER:
   MCDONALD'S CORPORATION

3. EXISTING PROPERTY INFORMATION:
   LOT 2, BLOCK 234.01
   ZONED: B-H BUSINESS, HIGHWAY DISTRICT
   USE: FAST FOOD RESTAURANT W/ DRIVE THRU (EXISTING USE)

4. APPLICANT:
   MCDONALD'S USA, LLC
   C/O EILEEN SEEBURGER
   6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817

5. ALL CURB AND PAVEMENT RADII ARE 5', UNLESS OTHERWISE NOTED.

6. ALL ADA ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT REQUIREMENTS, AS NEEDED.

7. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

8. FEATURES TO BE REMOVED ARE NOTED (TBD).

REV	DATE	DESCRIPTION	BY	ISSUE REF

FINAL PLAN SIGNATURES
P.M.
G.C.
O/O

McDonald's®

OFFICE: BETHESDA / PHILADELPHIA REGION
ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817

PLAN APPROVALS
SIGNATURE (2 REQUIRED) — DATE
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CONST. MGR.
OPERATIONS DEPT.
REAL ESTATE DEPT.
CO-SIGN SIGNATURE
CONTRACTOR
OWNER

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NEW JERSEY LICENSE No. 24GE04493300
DELAWARE LICENSE No. 18313

MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS
1885 N. OLDEN AVENUE

TOWNSHIP	STATE
EWING	NJ

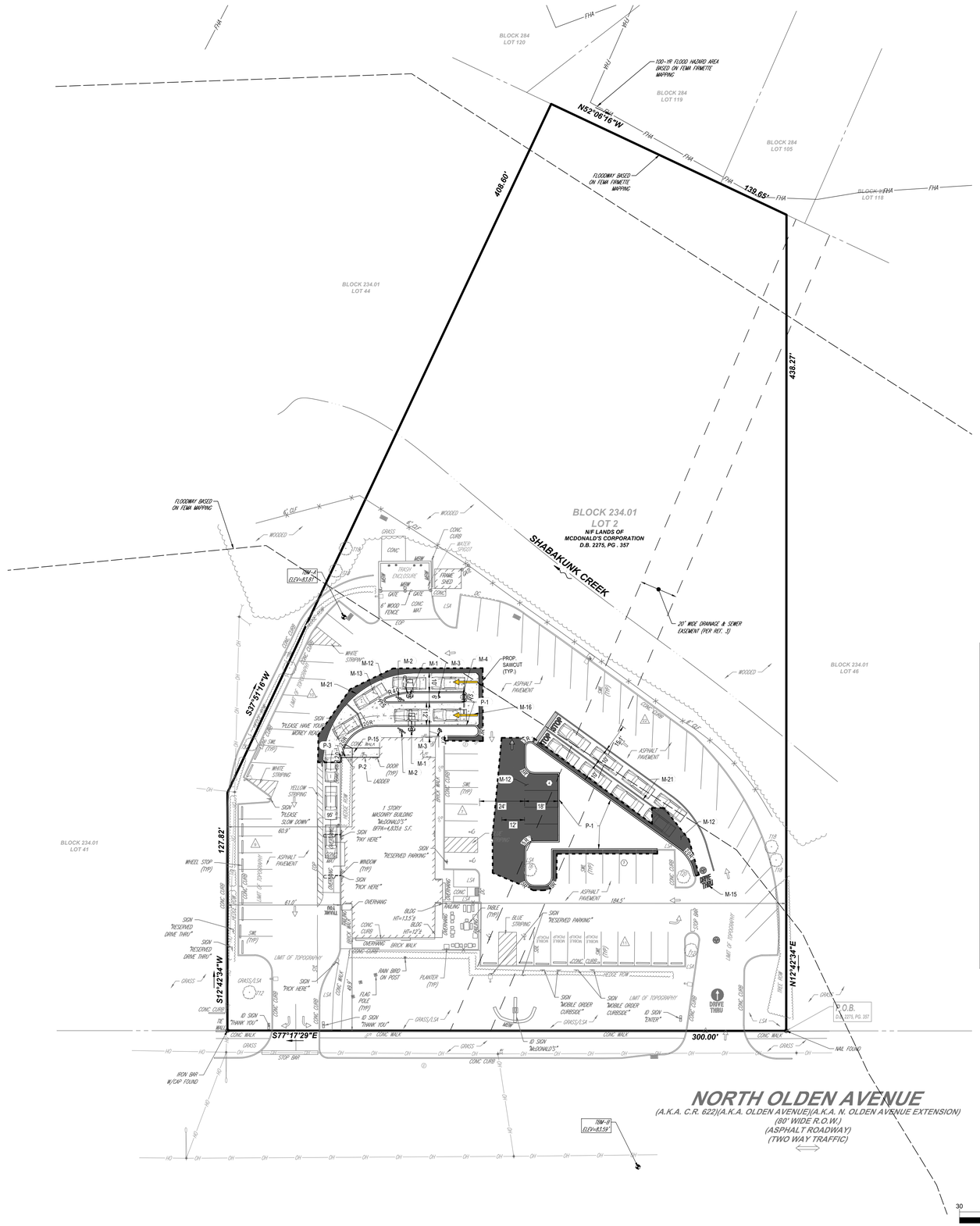
COUNTY
MERCER

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

REGIONAL DWG. NO
LC #29-0006
CAD FILE: PY210029-SPPD-0A

PLAN DESCRIPTION
EXISTING CONDITIONS / DEMOLITION PLAN

C-201



LEGEND

EXISTING

PROPERTY LINE	
R.O.W. LINE	
ADJACENT PROPERTY LINE	
MUNICIPAL BOUNDARY LINE	
SETBACK LINE	
BUILDING	
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
FENCE	
CONCRETE MONUMENT/ IRON PIN	
SIGN	
PARKING COUNT	10
AREA LIGHT	
DRAINAGE INLET	
STORM/SANITARY MANHOLE	
WATER/GAS VALVES	
ROOF DRAIN/CLEANOUT	
UTILITY POLE	
OVERHEAD UTILITY WIRES	OH

LEGEND

PROPOSED

CONCRETE CURB	
FLUSH CURB	
SAWCUT	
CONCRETE	
ASPHALT	
PARKING COUNT	8

LEGEND

PROPOSED FEATURES

M-1	PROPOSED COD CANOPY
M-2	PROPOSED OUTDOOR DISPLAY MENU BOARD
M-3	PROPOSED PRE-BROWSE MENU BOARD
M-4	PROPOSED DOUBLE GATEWAY CLEARANCE
M-12	PROPOSED ASPHALT PAVEMENT
M-13	PROPOSED CONCRETE PAVEMENT
M-15	PROPOSED PAINTED TRAFFIC ARROWS & LETTERS
M-16	PROPOSED DOUBLE HEADED ARROW
M-21	PROPOSED 6" PAINTED PMS 123 YELLOW STRIPE
P-1	TYPICAL CONCRETE CURB.
P-2	TYPICAL FLUSH CONCRETE CURB.
P-3	TYPICAL 2' CONCRETE CURB TAPER.
P-15	PROPOSED CONCRETE PAVEMENT.

PARKING REQUIREMENTS

REQUIRED = ONE (1) SPACE PER 2 SEATS PLUS ONE (1) SPACE PER EMPLOYEE
= 123 SEATS (107 INTERIOR +16 EXTERIOR) / 2
= 74 SPACES REQUIRED
EXISTING = 74 SPACES
PROPOSED = 70 SPACES (LOSS OF FOUR (4) SPACES) **(V)**

ZONING TABLE
(EWING TOWNSHIP)

ZONE: B-H BUSINESS, HIGHWAY DISTRICT
USE: RESTAURANT W/ DRIVE-THRU (EXISTING USE)

APPLICANT/ OWNER INFORMATION

APPLICANT:	MCDONALD'S USA, LLC 6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817	
PROPERTY OWNER:	MCDONALD'S CORPORATION	

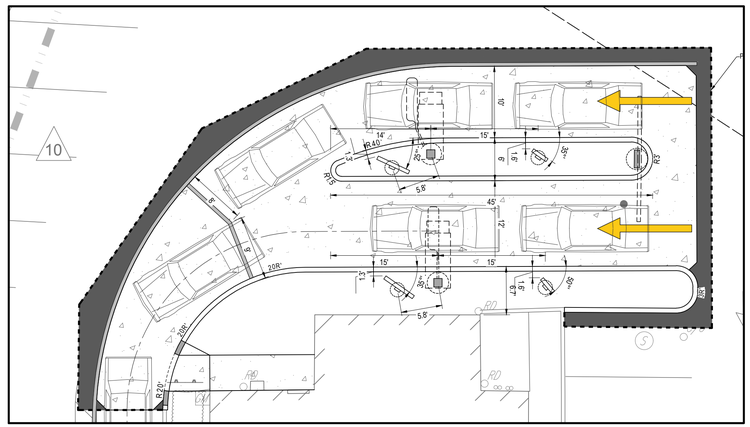
BULK REQUIREMENTS

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	20,000 SF.	2.604 AC. (113,445 SF.)	NO CHANGE
MIN. LOT WIDTH	100 FT.	300.0 FT.	NO CHANGE
MIN. YARD SETBACKS			
FRONT YARD	85 FT.	49.9 FT.	NO CHANGE
SIDE YARD (EA.)	12 FT.	60.9 FT.	NO CHANGE
REAR YARD	12 FT.	337.1 FT.	NO CHANGE
MAX. PERMITTED HEIGHT	40 FT.	13.5.	NO CHANGE
MAX. IMPERVIOUS COVERAGE	75%	42.6% (48,291 SF)	40.8% (46,239 SF)
MAX. BUILDING COVERAGE	2,400 SF (GFA)	(4,835 SF) **(ENC)**	NO CHANGE

ENC = EXISTING NON-CONFORMING
V= VARIANCE REQUESTED

SITE SPECIFIC NOTES

1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON THE BELOW PLAN REFERENCES;
   SURVEY
   CONTROL POINT ASSOCIATES, INC.
   1300 ROUTE 73, SUITE 211
   MT. LAUREL, NJ 08054
   ENTITLED: "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY"
   PREPARED FOR: "MCDONALD'S USA, LLC"
   PROJECT NO.: 02-100043-01
   DATED: 06-23-2022
2. PROPERTY OWNER:
   MCDONALD'S CORPORATION
3. EXISTING PROPERTY INFORMATION:
   LOT 2, BLOCK 234.01
   ZONED: B-H BUSINESS, HIGHWAY DISTRICT
   USE: FAST FOOD RESTAURANT W/ DRIVE THRU (EXISTING USE)
4. APPLICANT:
   MCDONALD'S USA, LLC
   C/O EILEEN SEEBURGER
   6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817
5. ALL CURB AND PAVEMENT RADII ARE 5', UNLESS OTHERWISE NOTED.
6. ALL ADA ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT REQUIREMENTS, AS NEEDED.
7. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
8. FEATURES TO BE REMOVED ARE NOTED (TBD).



DRIVE-THRU ENLARGEMENT

10 5 2.5 0 10
1"= 10'

30 15 7.5 0 30
1"= 30'

N

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Michael E. Jeitner
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. PE055733
NEW JERSEY LICENSE No. 24GE04493300
DELAWARE LICENSE No. 18313

MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS
1885 N. OLDEN AVENUE

TOWNSHIP: EWING
STATE: NJ
COUNTY: MERCER

REGIONAL DWG. NO: LC #29-0006
PLAN DESCRIPTION: *SITE PLAN*
CAD FILE: PY210029-SPPD-0A

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

C-301

REV	DATE	DESCRIPTION	BY	ISSUE REF

FINAL PLAN SIGNATURES
P.M. G.C. O/O

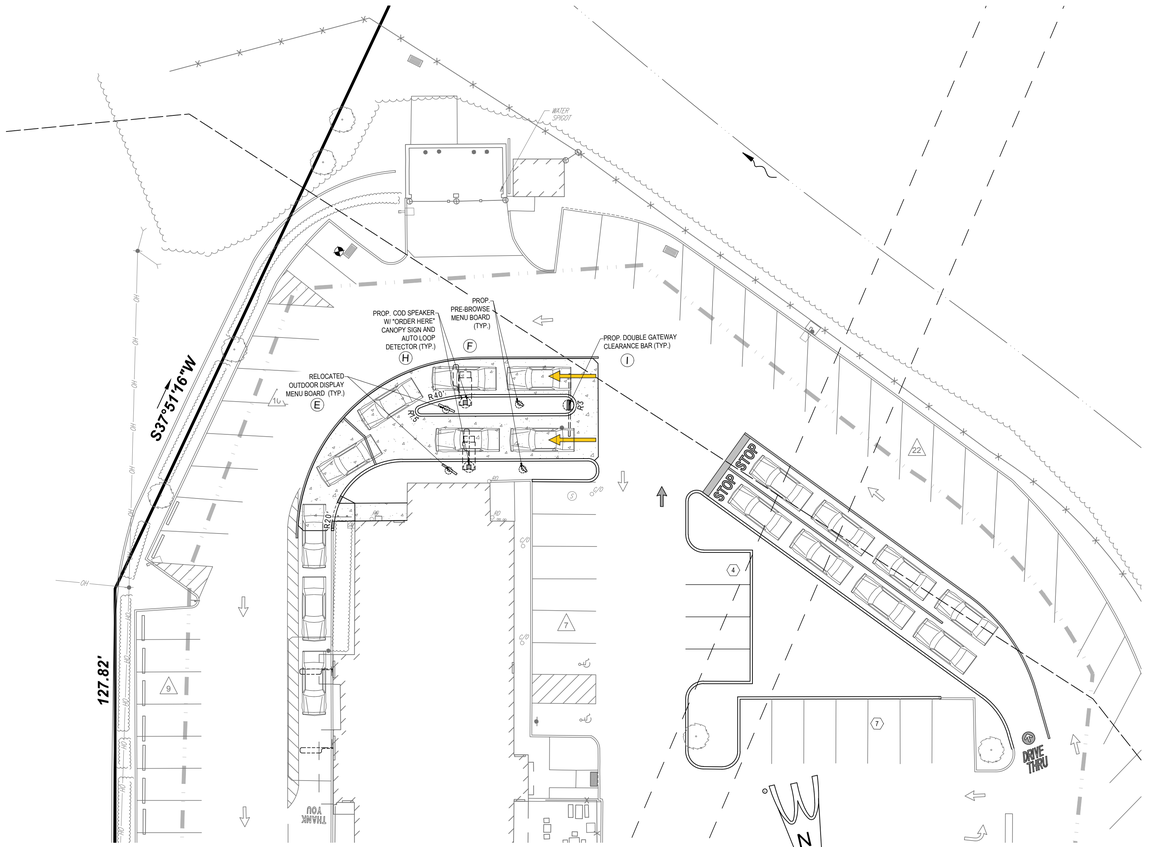
PLAN APPROVALS
SIGNATURE (2 REQUIRED) — DATE
REGIONAL MGR.
CONST. MGR.
OPERATIONS DEPT.
REAL ESTATE DEPT.

CO-SIGN SIGNATURES
CONTRACTOR
OWNER

McDonald's®
BETHESDA / PHILADELPHIA REGION
6903 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MD 20817

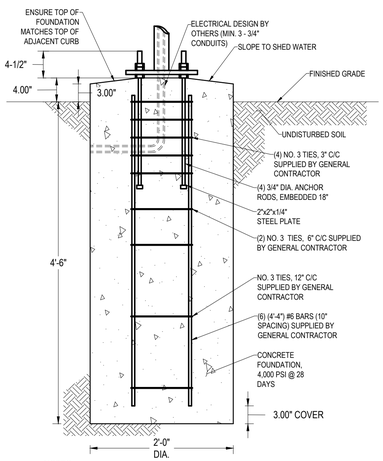
OFFICE
ADDRESS

R:\21\PY210029\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PY210029-SPPD-0A-----LAYOUT: C-301 SITE
CR



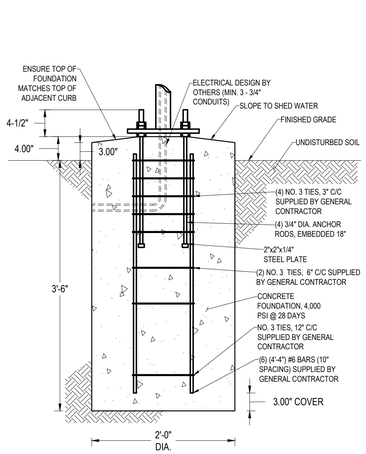
McDONALD'S DRIVE-THRU SIGNAGE TABLE

SYM.	DESCRIPTION	PROPOSED AREA	PERMITTED AREA	EXISTING AREA
(E)	OUTDOOR DISPLAY MENU BOARD	2 @ 20.0 SF./EA. MAX HEIGHT = 6.47 FT.	N/A	2 @ 20.0 SF./EA. MAX HEIGHT = 6.47 FT. (TO BE RELOCATED)
(F)	PRE-BROWSE MENU BOARD	2 @ 10.1 SF./EA. MAX HEIGHT = 6.47 FT.	N/A	N/A
(H)	"ORDER HERE" CANOPY SIGN	2 @ 1.24 SF./EA. MAX. HEIGHT = 11.72 FT.	N/A	N/A
(I)	GATEWAY CLEARANCE DRIVE-THRU SIGN	1 @ 6.64 SF./EA. MAX. HEIGHT = 11.17 FT.	N/A	1 @3.32 SF./EA. MAX. HEIGHT = 11.17 FT. (TO BE REMOVED)
TOTAL		PROP. # OF SIGNS = 7 PROP. AREA SIGNS = 69.32 SF.		EXIST. # OF SIGNS = 3 EXIST. AREA SIGNS = 43.32 SF.



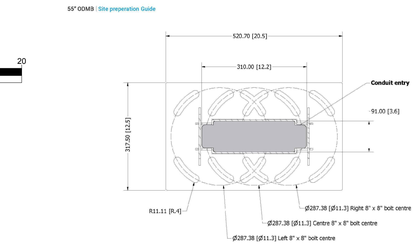
NOTES:
1. REINFORCING STEEL TO BE ASTM 615 GRADE 60 STEEL.

OUTDOOR DISPLAY MENU BOARD FOUNDATION DETAIL
SCALE : N.T.S.

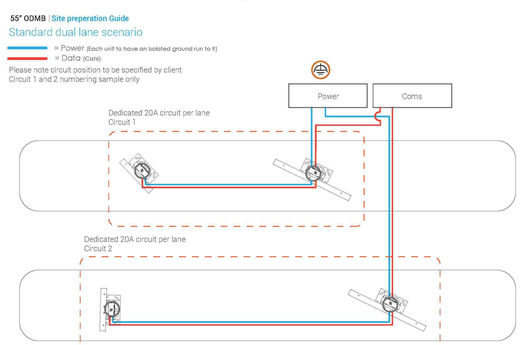


NOTES:
1. REINFORCING STEEL TO BE ASTM 615 GRADE 60 STEEL.

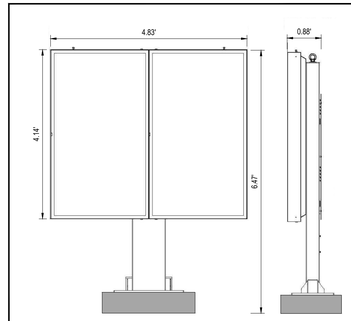
PRE-BROWSE MENU BOARD FOUNDATION DETAIL
SCALE : N.T.S.



ODMB MOUNTING PLATE DETAIL
SCALE : N.T.S.



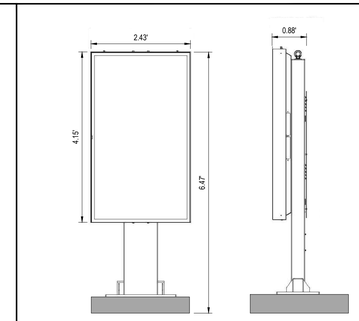
LOW VOLTAGE CONDUIT & DRIVE-THRU POWER DIAGRAM
SCALE : N.T.S.



(LED ILLUMINATED, CHANGING COPY)
TOTAL AREA = 20.0 SF.

E **2-PANEL OUTDOOR DISPLAY MENU BOARD DETAIL**

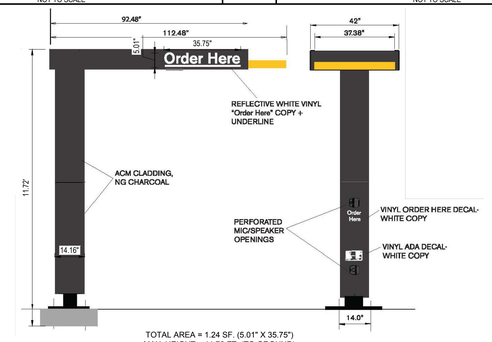
NOT TO SCALE



(LED ILLUMINATED, CHANGING COPY)
TOTAL AREA = 10.1 SF.

F **PRE-BROWSE MENU BOARD DETAIL**

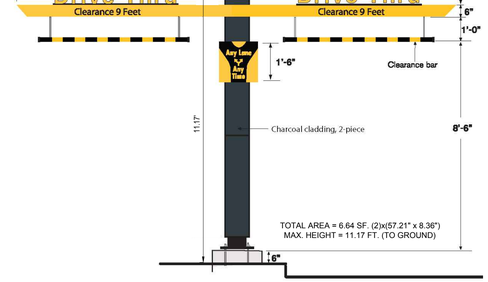
NOT TO SCALE



TOTAL AREA = 1.24 SF. (5.01" X 35.75")
MAX. HEIGHT = 11.72 FT. (TO GROUND)

H **"ORDER HERE" CANOPY SIGN DETAIL**

NOT TO SCALE



I **"DOUBLE GATEWAY CLEARANCE DRIVE-THRU" SIGN DETAIL**

NOT TO SCALE

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PENNSYLVANIA LICENSE No. PE055737
NEW JERSEY LICENSE No. 24GE04493300
DELAWARE LICENSE No. 18313

MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS
1885 N. OLDEN AVENUE

TOWNSHIP: EWING
STATE: NJ
COUNTY: MERCER

REGIONAL DWG. NO: LC #29-0006
PLAN DESCRIPTION: *SIGNAGE PLAN*
CAD FILE: PY210029-SPPD-0A

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

C-302

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	

CO-SIGN SIGNATURES

CONTRACTOR	
OWNER	

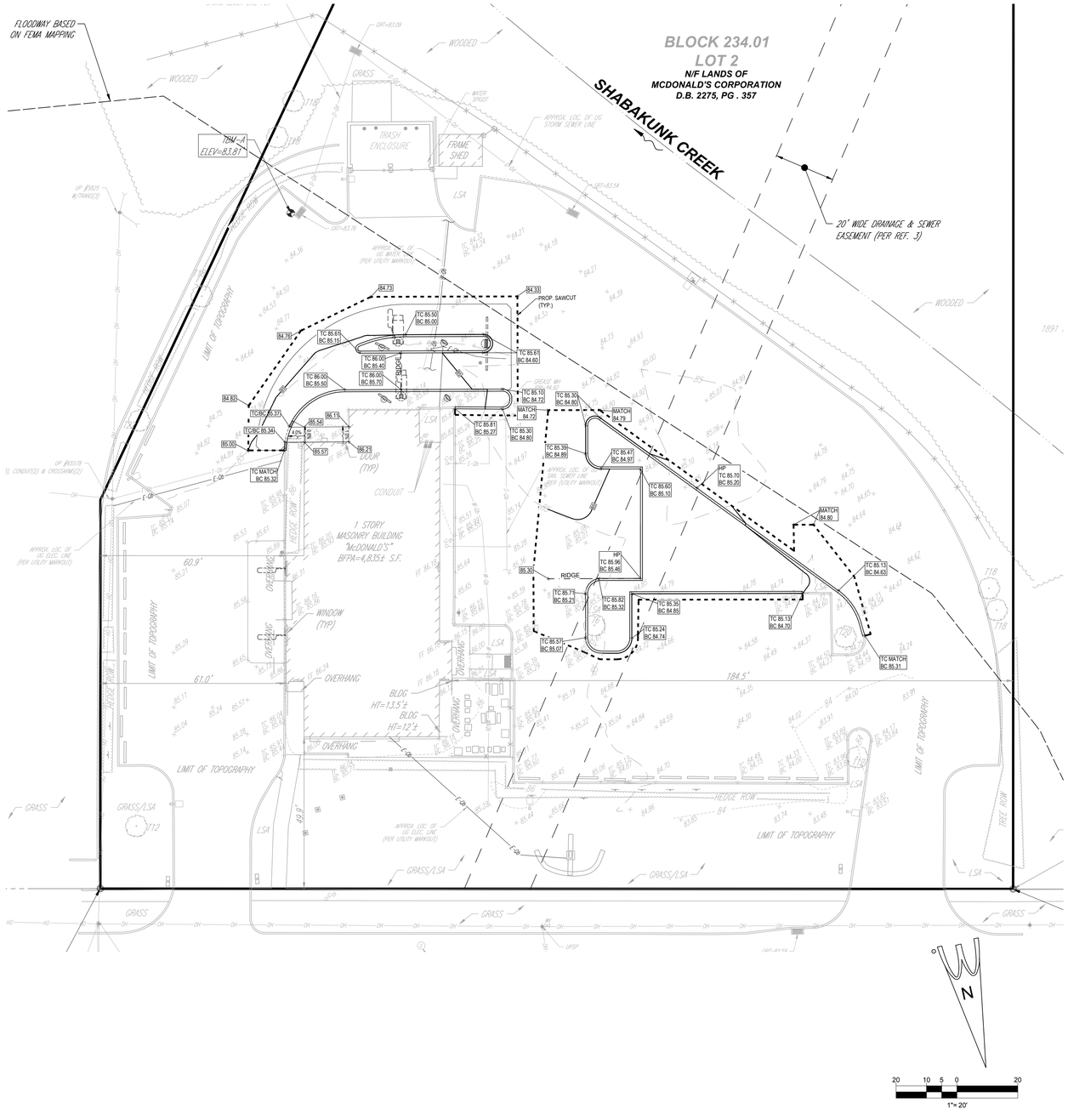
REV	DATE	DESCRIPTION	BY	ISSUE REF

FINAL PLAN SIGNATURES
P.M. G.C. O/O

McDonald's®

OFFICE: BETHESDA / PHILADELPHIA REGION
ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

R:\21\PY210029\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PY210029-SPPD-0A-----LAYOUT: C-302 SIGNAGE
CR



LEGEND

EXISTING

PROPERTY LINE	
R.O.W. LINE	
ADJACENT PROPERTY LINE	
MUNICIPAL BOUNDARY LINE	
BUILDING	
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
FENCE	
CONTOUR	
CONCRETE MONUMENT/ IRON PIN	
SIGN	
AREA LIGHT	
DRAINAGE INLET	
STORM/SANITARY MANHOLE	
WATER/GAS VALVES	
ROOF DRAIN/CLEANOUT	
UTILITY POLE	
OVERHEAD UTILITY WIRES	
ELECTRIC LINE	
GAS LINE	
WATER LINE	
SANITARY SEWER	
STORM PIPE	

LEGEND

PROPOSED

LIMIT OF DISTURBANCE	LOD
CONCRETE CURB	
FLUSH CURB	
CONTOUR	
SPOT ELEVATION	123.00 / TC: 123.50 BC: 123.00

SITE SPECIFIC NOTES

1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON THE BELOW PLAN REFERENCES;
   SURVEY
   CONTROL POINT ASSOCIATES, INC.
   1300 ROUTE 73, SUITE 211
   MT. LAUREL, NJ 08054
   ENTITLED: "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY"
   PREPARED FOR: "MCDONALD'S USA, LLC"
   PROJECT NO.: 02-100043-01
   DATED: 06-23-2022
2. PROPERTY OWNER:
   MCDONALD'S CORPORATION
3. EXISTING PROPERTY INFORMATION:
   LOT 2, BLOCK 234.01
   ZONED: B-H BUSINESS, HIGHWAY DISTRICT
   USE: FAST FOOD RESTAURANT W/ DRIVE THRU (EXISTING USE)
4. APPLICANT:
   MCDONALD'S USA, LLC
   C/O EILEEN SEEBURGER
   6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817
5. ALL CURB AND PAVEMENT RADII ARE 5', UNLESS OTHERWISE NOTED.
6. ALL ADA ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT REQUIREMENTS, AS NEEDED.
7. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
8. FEATURES TO BE REMOVED ARE NOTED (TBD).

REV	DATE	DESCRIPTION	BY	ISSUE REF

FINAL PLAN SIGNATURES — P.M. / G.C. / O/O

McDonald's®

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OFFICE: BETHESDA / PHILADELPHIA REGION
ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CO-SIGN SIGNATURES	
CONTRACTOR	
OWNER	

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PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. PE055733
NEW JERSEY LICENSE No. 24GE04493300
DELAWARE LICENSE No. 18313

MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS
1885 N. OLDEN AVENUE

TOWNSHIP: EWING
STATE: NJ
COUNTY: MERCER

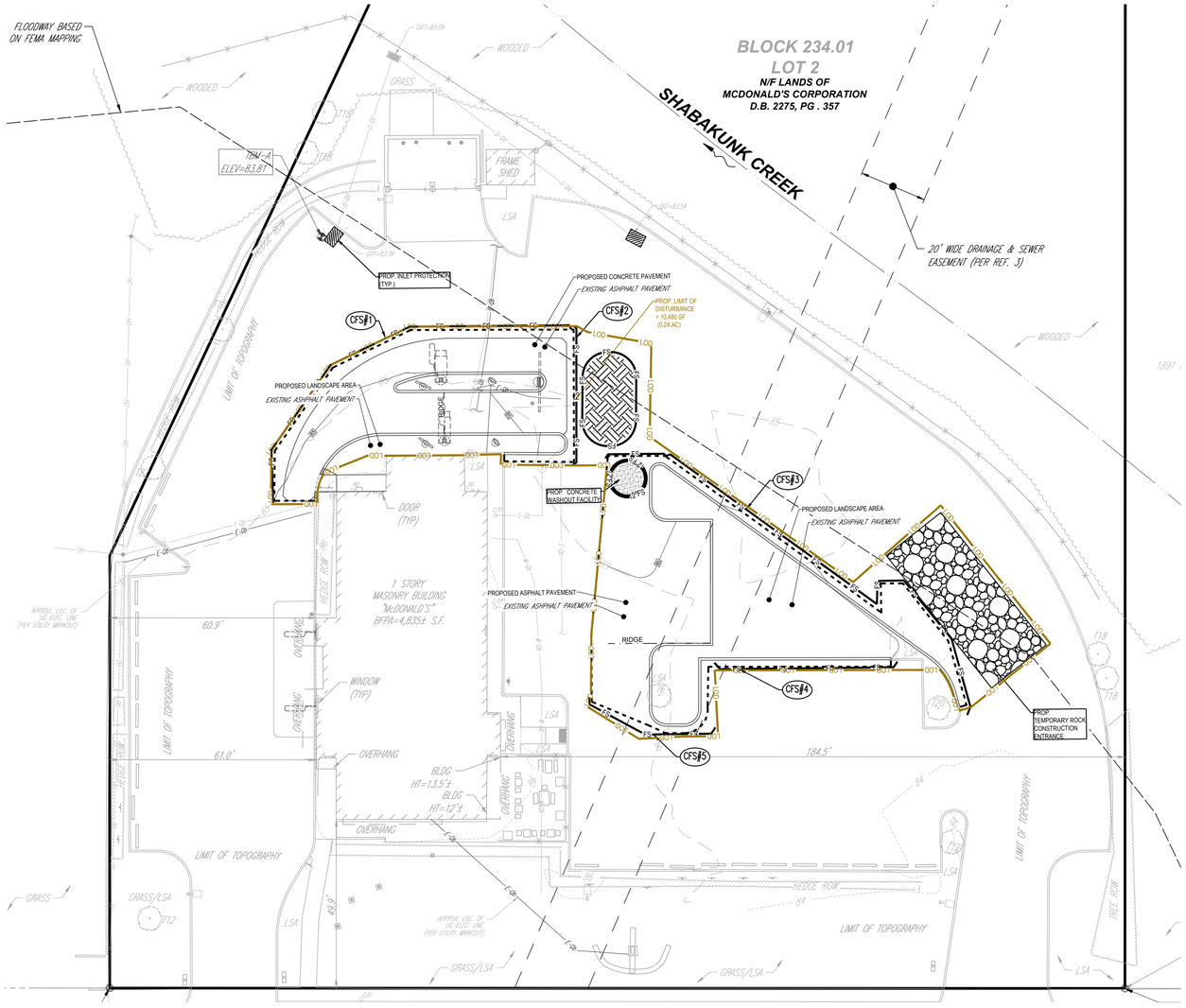
STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

REGIONAL DWG. NO: LC #29-0006
CAD FILE: PY210029-SPPD-0A

PLAN DESCRIPTION: GRADING/ UTILITY PLAN

C-401

R:\PY210029\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PY210029-SPPD-0A-----LAYOUT: C-401 GRADE
CR



LEGEND

EXISTING

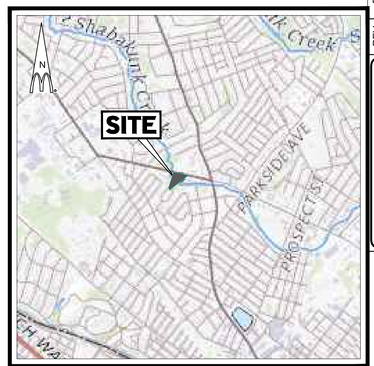
PROPERTY LINE	
R.O.W. LINE	
ADJACENT PROPERTY LINE	
MUNICIPAL BOUNDARY LINE	
BUILDING	
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
FENCE	
CONTOUR	
CONCRETE MONUMENT/ IRON PIN	
SIGN	
PARKING COUNT	
AREA LIGHT	
DRAINAGE INLET	
STORM/SANITARY MANHOLE	
WATER/GAS VALVES	
ROOF DRAIN/CLEANOUT	
UTILITY POLE	
OVERHEAD UTILITY WIRES	
ELECTRIC LINE	
GAS LINE	
WATER LINE	
SANITARY SEWER	
STORM PIPE	

LEGEND

PROPOSED

LIMIT OF DISTURBANCE	LOD
CONCRETE CURB	
FLUSH CURB	
SAWCUT	
CONTOUR	
COMPOST FILTER SOCK	FS
BARRICADE	
CONCRETE WASHOUT	
TEMPORARY STOCKPILE	
ROCK CONSTRUCTION ENTRANCE	

SOIL MAP
SCALE: 1" = 200'



U.S.G.S. MAP
SCALE: 1" = 2,000'

SEQUENCE OF CONSTRUCTION

1.) ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.

2.) AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARER AND A REPRESENTATIVE OF THE SALEM COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE- CONSTRUCTION MEETING.

3.) ALL STRUCTURES ASSOCIATED WITH CONSTRUCTION OF SEDIMENT REMOVAL FACILITES MUST BE AVAILABLE ON-SITE PRIOR TO ANY EARTHMOVING.

4.) INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE, CONCRETE WASHOUT FACILITY, AND TEMPORARY BARRICADE.

5.) INSTALL COMPOST FILTER SOCK AT CONSTRUCTION ENTRANCE AND STAGING AREAS AS DESIGNATED ON THE PLANS.

6.) INSTALL COMPOST FILTER SOCK FOR TEMPORARY SOIL STOCKPILE AS INDICATED ON THE PLANS.

7.) INITIATE THE NECESSARY EARTHWORK TO REACH THE GRADES INDICATED ON THE PLANS. THIS WORK SHALL INCLUDE ROUGH GRADING OF THE PROPOSED SITE IMPROVEMENTS.

8.) INSTALL ALL CURBING.

9.) INSTALL STONE BASE COURSE AND BINDER COURSE FOR ALL PAVEMENT.

10.) INSTALL FINAL VEGETATION INCLUDING ALL LANDSCAPING AND GRASSED AREAS.

11.) PERFORM PERMANENT STABILIZATION. UPON SITE STABILIZATION (UNIFORM COVERAGE OR DENSITY OF 70% ACROSS ALL DISTURBED AREAS) AND NOTIFICATION OF THE CONSERVATION DISTRICT, REMOVE ALL TEMPORARY BMP. EROSION AND SEDIMENT CONTROL FACILITIES INCLUDING FILTER SOCKS. ANY AREA DISTURBED DURING THE REMOVAL OF EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE STABILIZED IMMEDIATELY.

12.) BEGIN FINAL GRADING, AND THE PLACEMENT OF TOPSOIL AND PERMANENT STABILIZATION.

13.) PRIOR TO WEARING COURSE PAVING, ALL OTHER CONSTRUCTION MUST BE COMPLETED INCLUDING BUILDINGS, DRIVEWAYS, LANDSCAPING, GRADING AND CONCRETE WORK. UPON COMPLETION, INSTALL WEARING COURSE, SIGNAGE AND STRIPING.

14.) DEMOBILIZE

SITE SPECIFIC NOTES

1. THIS CONCEPT WAS PREPARED STRICTLY AND SOLELY BASED UPON THE BELOW PLAN REFERENCES;
   SURVEY
   CONTROL POINT ASSOCIATES, INC.
   1300 ROUTE 73, SUITE 211
   MT. LAUREL, NJ 08054
   ENTITLED: "BOUNDARY AND PARTIAL TOPOGRAPHIC SURVEY"
   PREPARED FOR: "MCDONALD'S USA, LLC"
   PROJECT NO.: 02-100043-01
   DATED: 06-23-2022
2. PROPERTY OWNER:
   MCDONALD'S CORPORATION
3. EXISTING PROPERTY INFORMATION:
   LOT 2, BLOCK 234.01
   ZONED: B-H BUSINESS, HIGHWAY DISTRICT
   USE: FAST FOOD RESTAURANT W/ DRIVE THRU (EXISTING USE)
4. APPLICANT:
   MCDONALD'S USA, LLC
   C/O EILEEN SEEBURGER
   6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817
5. ALL CURB AND PAVEMENT RADII ARE 5', UNLESS OTHERWISE NOTED.
6. ALL ADA ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT REQUIREMENTS, AS NEEDED.
7. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
8. FEATURES TO BE REMOVED ARE NOTED (TBD).

TYPES, DEPTH, SLOPE, LOCATIONS, AND LIMITATIONS OF THE SOILS

§102.4(b)(5)(ii)
SOIL DESCRIPTIONS

SOIL	DESCRIPTION
UR	URBAN LAND, HYDRIC SOIL RATING - N/A

SOIL USE LIMITATIONS AND THEIR RESOLUTIONS PROVIDED

CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE SOIL LIMITATIONS AND RESOLUTIONS SPECIFIC TO THIS PROJECT.
1. SOIL TYPES POORLY SUITED AS SOURCES OF TOPSOIL RESTRICT OR PLACE CONDITIONS ON PLANNING VEGETATIVE STABILIZATION. ACIDIC, LOW FERTILITY, EXCESSIVE DRYNESS AND EXCESSIVE WETNESS LIMIT PLANT GROWTH.
RESOLUTIONS: IDENTIFYING AND RESOLVING CHARACTERISTICS, THAT RENDER THE SOIL TYPES POORLY, SUITED AS TOPSOIL.
2. ACIDIC SOIL TYPES EXHIBITING PH REACTION VALUES LOWER THAN ABOUT 5.5, LIMIT VEGETATIVE STABILIZATION. SOIL TESTS MIGHT BE NECESSARY TO DETERMINE SITE SPECIFIC PH REACTION.
RESOLUTIONS: APPLYING LIME CONSISTENT WITH RATES DETERMINED BY SOIL TESTING; SELECTING VEGETATIVE SPECIES TOLERANT TO ACIDIC SOIL CONDITIONS; AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.
3. LOW FERTILITY SOIL TYPES LACKING IN SUFFICIENT AMOUNTS OF ESSENTIAL PLANT NUTRIENTS SUCH AS: NITRPGEN, PHOSPHOROUS, POTASSIUM, SULFER, MAGNESIUM, CALCIUM, IRON, MANGANESE, BORON, CHLORINE, ZINC, COPPER AND MOLYBDENUM, LIMIT VEGETATION STABILIZATION. SOIL TESTS MIGHT BE NECESSARY TO DETERMINE SITE SPECIFIC SOIL FERTILITY.
RESOLUTIONS: INCORPORATING SOIL NUTRIENTS CONSISTENT WITH RATES DETERMINED BY SOIL TESTING; SELECTING VEGETATIVE SPECIES TOLERANT TO LOW FERTILITY SOIL CONDITIONS, AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.
4. ERODIBLE SOIL TYPES EXHIBITING K VALUES GREATER THAN 0.36 OR PLASTICITY INDEX VALUES LOWER THAN 10, LIMIT VEGETATIVE STABILIZATION OF CHANNELS.
RESOLUTIONS: TEMPORARY CHANNEL LINING, PROVIDING PERMANENT CHANNEL LINING, DECREASING CHANNEL GRADE, INCREASING CHANNEL WIDTH, SELECTING VEGETATIVE WITH GREATER RETARDANCE, SELECTING PERMANENT LININGS OTHER THAN GRASSES, AND IMPLEMENTING COMBINATION OF THESE AND/OR METHODS. VEGETATIVE RETARDANCE INFORMATION IS PROVIDED IN TABLES 6 AND 7 OF THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL PUBLISHED BY PADEP.
5. WET SOIL TYPES HAVE EXCESSIVE ROOT ZONE AND SOIL MOISTURES. SOME SOIL SURVEYS INDICATE WETNESS, HIGH WATER TABLE AND FLOODING. THIS INDICATOR IS AFFECTED BY SOIL DISTURBANCE.
RESOLUTIONS: SELECTING VEGETATIVE SPECIES TOLERANT TO WET CONDITIONS, TILING VEGETATIVE AREAS, AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY THE PENN STATE.
6. DRY SOIL TYPES LACK SUFFICIENT ROOT ZONE SOIL MOISTURES. THIS INDICATOR IS AFFECTED BY SOIL DISTURBANCE.
RESOLUTIONS: SELECTING VEGETATIVE SPECIES TOLERANT TO DRY CONDITIONS, IRRIGATING VEGETATED AREAS AND IMPLEMENTING COMBINATION OF THESE AND/OR OTHER METHODS. SPECIFIC TOLERANCE INFORMATION IS PROVIDED IN TABLE 1 OF THE EROSION CONTROL & CONSERVATION PLANTINGS ON NONCROPLAND PUBLISHED BY PENN STATE.
7. SOIL TYPES SUSCEPTIBLE TO SINKHOLE AND SOLUTION CHANNEL/CHAMBER FORMATION POSE LIMITATIONS ON LOCATING RESERVOIR AREAS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORMWATER RETENTION BASINS, AND STORMWATER DETENTION BASINS.
RESOLUTIONS: LOCATING THOSE FACILITIES ON OTHER SOIL TYPES, LINING RESERVOIR AREAS WITH IMPERMEABLE LINNINGS, LIMITING STANDING WATER DEPTHS, LIMITING RETENTION TIMES AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS.
8. SOIL TYPES THAT EXHIBIT INSTABILITY IN POND EMBANKMENTS OR SUSCEPTIBILITY TO PIPING AND SEEPING POSE LIMITATIONS ON PLANNING EMBANKMENTS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORMWATER RETENTION BASINS AND STORMWATER DETENTION BASINS.
RESOLUTIONS: IMPORTING OTHER SOIL FOR EMBANKMENT OF THOSE FACILITIES, LOCATING THOSE FACILITIES ON OTHER SOIL TYPES, LIMITING EMBANKMENT SLOPE STEEPNESS AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS.
9. SOIL THAT ARE DIFFICULT TO COMPACT, UNSUITABLE FOR WINTER GRADING, OR SUSCEPTIBLE TO FROST ACTION POSE LIMITATIONS ON PLANNING EMBANKMENTS OF SEDIMENT BASINS, SEDIMENT TRAPS, STORMWATER RETENTION BASINS AND STORMWATER DETENTION BASINS.
RESOLUTIONS: IMPORTING OTHER SOIL FOR EMBANKMENT OF THOSE FACILITIES, LOCATING THOSE FACILITIES ON OTHER SOIL TYPES, NOT CONSTRUCTING EMBANKMENTS DURING PERIODS PRONE TO FROST AND IMPLEMENTING COMBINATIONS OF THESE AND/OR OTHER METHODS
10. SUSCEPTIBILITY FOR THE DEVELOPMENT OF SINKHOLE WITHIN IDENTIFIED SOILS.
RESOLUTIONS: IN THE EVENT THAT PRESENCE OF A SINKHOLE IS DETECTED DURING THE COURSE OF WORK, CORRECTIVE MEASURES SHALL BE PERFORMED UNDER THE OBSERVATION AND GUIDANCE OF THE OWNER'S GEOTECHNICAL CONSULTANT.
EXCAVATE THE LOOSE, WET SOILS SURROUNDING THE SINKHOLE TO EXPOSE THE SINKHOLE "THROAT" (THE OPENING IN THE ROCK) AND THE ADJACENT STABLE SOILS/ROCK WHERE POSSIBLE, THE EXCAVATION SHALL EXTEND A MINIMUM OF TWO FEET (2') BEYOND THE STABLE SOILS OR TO THE ROCK SURFACE, WHICHEVER IS ENCOUNTERED FIRST.
FILL THE EXPOSED SINKHOLE "THROAT" WITH LEAN CONCRETE TO BLOCK THE MIGRATION OF THE UPPER LAYERS OF SOIL THROUGH THE ROCK OPENING.
AFTER CONCRETE HAS CURED OVERNIGHT BACKFILL THE REMAINDER OF THE EXCAVATION WITH CLAYEY SOILS TO PROVIDE A LOW PERMEABILITY BARRIER. THE CLAYEY SOILS SHALL BE PLACED IN 8" LIFTS AND EACH LIFT COMPACTED BY REPEATED PASSES OF THE COMPACTION EQUIPMENT UNTIL STABLE. CARE SHALL BE TAKEN TO ASSURE THAT THE SOIL AT THE EDGES OF THE EXCAVATION ARE WELL COMPACTED.

THIS PLAN IS FOR SOIL EROSION & SEDIMENT POLLUTION CONTROL PURPOSES ONLY

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BETHLEHEM, PA 18018
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Fax: (610) 709-9976
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PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. PE055733
NEW JERSEY LICENSE No. 24GE04493300
DELAWARE LICENSE No. 18313

MINOR SITE PLAN
PLAN SCALE: AS NOTED
STREET ADDRESS
1885 N. OLDEN AVENUE
TOWNSHIP: EWING
STATE: NJ
COUNTY: MERCER
REGIONAL DWG. NO: LC #29-0006
CAD FILE: PY210029-SPPD-0A
PLAN DESCRIPTION: *SOIL EROSION & SEDIMENT POLLUTION CONTROL PLAN*

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

C-601

ISSUE REF	BY	DESCRIPTION	DATE	REV

FINAL PLAN SIGNATURES
P.M. G.C. O/O

PLAN APPROVALS
SIGNATURE (2 REQUIRED) | DATE
REGIONAL MGR.
CONST. MGR.
OPERATIONS DEPT.
REAL ESTATE DEPT.
CO-SIGN SIGNATURES
CONTRACTOR
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CR

NEW JERSEY SOIL EROSION AND SEDIMENT CONTROL NOTES

1. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY TO NOR EXIT DIRECTLY FROM LOT 2.02 ONTO MINCK AVENUE.
2. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
3. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
4. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, THE PERMITTEE AND COPERMITTEE SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES AND MAINTAIN AND MAKE AVAILABLE TO THE CAMDEN COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGARDING, RESEEDING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
5. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
6. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CAMDEN COUNTY CONSERVATION DISTRICT.
7. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE APPROPRIATE CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
8. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
9. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL
10. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
11. EROSION AND SEDIMENT BMP'S MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMP'S.
12. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.
13. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND THE CAMDEN COUNTY CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE NEW JERSEY ONE CALL SYSTEM INCORPORATED AT 1-800-272-1000 FOR BURIED UTILITIES LOCATIONS.
14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
15. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
16. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

OTHER BMP's

1. SEDIMENT MUST BE REMOVED FROM STORM WATER INLET PROTECTION AFTER EACH RUNOFF EVENT.

TEMPORARY STABILIZATION AND PERMANENT STABILIZATION

1. HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
2. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 OR STEEPER.
3. STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
4. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING, RESEEDING, REMULCHING, AND RENETTING, MUST BE DONE IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S, OR MODIFICATIONS TO THOSE INSTALLED WILL BE REQUIRED.
4. SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN LANDSCAPE AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
5. THE OPERATOR SHALL REMOVE FROM THIS SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THIS SITE.

E&S - GENERAL NOTES:

1. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL STRUCTURES. ADDITIONAL FACILITIES OR MEASURES SHALL BE INSTALLED WHERE NECESSARY OR WHERE DIRECTED BY EITHER THE TOWNSHIP OR THE COUNTY CONSERVATION DISTRICT AS CONSTRUCTION PROGRESSES.

2. THE OWNER/CONSTRUCTION MANAGER IS RESPONSIBLE FOR ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROLS AND SITE STABILIZATION. THE OWNER SHALL ASSIGN ONE INDIVIDUAL TO BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL FACILITIES AND MEASURES.

3. PROTECTION TO THE EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.

4. ANY DRY FILL HAULED OFFSITE MUST BE TAKEN TO A LOCATION WITH AN EROSION AND SEDIMENTATION CONTROL PLAN WHICH HAS BEEN REVIEWED BY THE COUNTY CONSERVATION DISTRICT FOR ADEQUACY.

5. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN TRIBUTARY AREAS OF THOSE CONTROLS.

6. STOCKPILES MUST BE STABILIZED IMMEDIATELY.

7. NO CHANGES SHALL BE MADE IN THE CONTOUR OF THE LAND. NO GRADING, EXCAVATING, REMOVAL OR DESTRUCTION OF THE TOPSOIL, TREES OR OTHER VEGETATIVE COVER OF THE LAND SHALL BE COMMENCED WITHIN A PROPOSED SUBDIVISION OR LAND DEVELOPMENT TRACT UNTIL SUCH TIME THAT A PLAN FOR SEDIMENTATION CONTROL AND MINIMIZING EROSION HAS BEEN REVIEWED AND FOUND SATISFACTORY BY THE COUNTY CONSERVATION DISTRICT AND REVIEWED AND APPROVED BY THE TOWNSHIP, OR THERE HAS BEEN A DETERMINATION BY THE TOWNSHIP, UPON RECOMMENDATION BY THE COUNTY CONSERVATION DISTRICT, THAT SUCH PLANS ARE NOT NECESSARY.

8. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT.

9. THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.

10. CONTRACTOR SHALL USE TREADED MACHINERY AND MINIMIZE SOIL COMPACTION WHEREVER POSSIBLE.

MERCER COUNTY SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO STARTING LAND DISTURBANCE ACTIVITY. NOTICE MAY BE MAILED, FAXED OR EMAILED TO:
   MCSCD, 590 HUGHES DRIVE, HAMILTON SQUARE, NJ 08690
   PHONE: 609-586-9603 FAX: 609-586-1117 EMAIL: PAULS1MERCER@AOL.COM
2. IF APPLICABLE TO THIS PROJECT, THE OWNER SHOULD BE AWARE OF HIS OR HER OBLIGATION TO FILE FOR A NJPDES CONSTRUCTION ACTIVITY STORMWATER 5G3 PERMIT (NJG0088323) VIA THE NJDEP ONLINE PERMITTING SYSTEM (WWW.NJ.GOV/DEP/ONLINE) AND TO MAINTAIN THE ASSOCIATED BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION PLAN SELF-INSPECTION LOGBOOK ONSITE AT ALL TIMES. THIS PERMIT MUST BE FILED PRIOR TO THE START OF SOIL DISTURBANCE. THE ONLINE APPLICATION PROCESS WILL REQUIRE ENTRY OF AN SCD CERTIFICATION CODE, WHICH IS PROVIDED BY THE SOIL CONSERVATION DISTRICT UPON CERTIFICATION OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
3. THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
4. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING AN INCREASE IN THE LIMIT OF DISTURBANCE, WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
5. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
6. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AS OUTLINED WITHIN THE SEQUENCE OF CONSTRUCTION ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NJ. IF LANGUAGE CONTAINED WITHIN ANY OTHER PERMIT FOR THIS PROJECT IS MORE RESTRICTIVE THAN (BUT NOT CONTRADICTORY TO) WHAT IS CONTAINED WITHIN THESE NOTES OR ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, THEN THE MORE RESTRICTIVE PERMIT REQUIREMENTS SHALL BE FOLLOWED.
8. THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A 1½" TO 2½" CLEAN STONE TRACKING PAD AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE, WHETHER IDENTIFIED ON THE CERTIFIED PLAN OR NOT. THE WIDTH SHALL SPAN THE FULL WIDTH OF EGRESS, AND LENGTH SHALL BE 50 FT. OR MORE, DEPENDING ON SITE CONDITIONS AND AS REQUIRED BY THE STANDARD. THIS SHALL INCLUDE INDIVIDUAL LOT ACCESS POINTS WITHIN RESIDENTIAL SUBDIVISIONS. IF THE EGRESS IS TO A COUNTY ROAD, THEN A 20 FT. LONG PAVED TRANSITION SHALL BE PROVIDED BETWEEN THE EDGE OF PAVEMENT AND THE STONE ACCESS PAD.
9. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING, PROVIDED THAT ALL OTHER REQUIREMENTS RELATED TO DETENTION BASINS, SWALES AND THE SEQUENCE OF CONSTRUCTION HAVE BEEN MET.
10. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION ACTIVITY WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER, OR IF THE AREA IS NOT TOPSOILED, THEN THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS. SLOPED AREAS IN EXCESS OF 3H:1V SHALL BE PROVIDED WITH EROSION CONTROL BLANKETS. CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS, ENVIRONMENTALLY SENSITIVE AREAS) WILL RECEIVE TEMPORARY STABILIZATION IMMEDIATELY AFTER AN INITIAL DISTURBANCE OR ROUGH GRADING
11. ANY STEEP SLOPES (I.E. SLOPES GREATER THAN 3:1) RECEIVING PIPELINE OR UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS.
12. PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING AND TOPSOILING. ALL AGRONOMIC REQUIREMENTS CONTAINED WITHIN THE STANDARDS AND ON THE CERTIFIED PLAN SHALL BE EMPLOYED. MULCH WITH A BINDER, IN ACCORDANCE WITH THE STANDARDS, SHALL BE USED ON ALL SEEDED AREAS. SAVE ALL TAGS AND/OR BAGS USED FOR SEED, LIME, AND FERTILIZER, AND PROVIDE THEM TO THE DISTRICT INSPECTOR TO VERIFY THAT MIXTURES AND RATES MEET THE STANDARDS.
13. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, THEN NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
14. DURING THE COURSE OF CONSTRUCTION, SOIL COMPACTION MAY OCCUR WITHIN HAUL ROUTES, STAGING AREAS, AND OTHER PROJECT AREAS. IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING, COMPACTED SURFACES SHOULD BE SCARIFIED 6″ TO 12″ IMMEDIATELY PRIOR TO TOPSOIL APPLICATION. THIS WILL HELP ENSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
15. PRIOR TO SEEDING, TOPSOIL SHALL BE WORKED TO PREPARE A PROPER SEEDBED. THIS SHALL INCLUDE RAKING OF THE TOPSOIL AND REMOVAL OF DEBRIS AND STONES, ALONG WITH OTHER REQUIREMENTS OF THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION.
16. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE BURIED WITH LIMESTONE IN ACCORDANCE WITH THE STANDARD AND BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO TOPSOIL APPLICATION AND SEEDBED PREPARATION. IF THE AREA IS TO RECEIVE TREE OR SHRUB PLANTINGS OR IS LOCATED ON A SLOPE, THEN THE AREA SHALL BE COVERED WITH A MINIMUM OF 24″ OF SOIL HAVING A PH OF 5 OR MORE.
17. MULCHING TO THE STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONAL ROC'S ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING. PERMANENT STABILIZATION MUST THEN BE COMPLETED DURING THE OPTIMUM SEEDING SEASON IMMEDIATELY FOLLOWING THE CONDITIONAL ROC OR THE COMPLETION OF WORK IN A GIVEN AREA.
18. HYDROSEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED-TO-SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF THE SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A MINIMUM RATE OF 1500 LBS. PER ACRE IN THE SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS. THE USE OF HYDROMULCH ON SLOPED AREAS IS DISCOURAGED.
19. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING THE LIFE OF THE CONSTRUCTION PROJECT. ALL SEDIMENT WASHED, DROPPED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.
20. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION, AND FOR EMPLOYING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THE REQUEST OF THE MERCER COUNTY SOIL CONSERVATION DISTRICT.
21. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
22. ALL DETENTION / RETENTION BASINS MUST BE FULLY CONSTRUCTED (INCLUSIVE OF ALL STRUCTURAL COMPONENTS AND LINERS) AND PERMANENTLY STABILIZED PRIOR TO PAVING OR PRIOR TO THE ADDITION OF ANY IMPERVIOUS SURFACES. PERMANENT STABILIZATION INCLUDES, BUT MAY NOT BE LIMITED TO: TOPSOIL, SEED, STRAW MULCH AND BINDERS OR EROSION CONTROL BLANKETS ON ALL SEEDING, ALL AGRONOMIC REQUIREMENTS AS SPECIFIED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INSTALLATION OF THE OUTFLOW CONTROL STRUCTURES AND DISCHARGE STORM DRAINAGE PIPING, LOW FLOW CHANNELS, CONDUIT OUTLET PROTECTION, EMERGENCY SPILLWAYS, AND LAP RING PROTECTION.
23. THE RIDING SURFACE OF ALL UTILITY TRENCHES WITHIN PAVED AREAS SHALL BE 3/4″ CLEAN STONE OR BASE PAVEMENT UNTIL SUCH TIME AS FINAL PAVEMENT HAS BEEN INSTALLED. TEMPORARY SOIL RIDING SURFACES ARE PROHIBITED.ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR A SIMILAR STABLE SURFACE.
24. ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR SIMILAR STABLE SURFACE.
25. ALL SWALES OR CHANNELS THAT WILL RECEIVE RUNOFF FROM PAVED SURFACES MUST BE PERMANENTLY STABILIZED PRIOR TO THE INSTALLATION OF PAVEMENT. IF THE SEASON PROHIBITS THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE SWALES OR CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
25. NJSA 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN SATISFIED. THEREFORE, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED BEFORE THE DISTRICT ISSUES A REPORT OF COMPLIANCE OR CONDITIONAL REPORT OF COMPLIANCE, WHICH MUST BE FORWARDED TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY, RESPECTIVELY.

MERCER COUNTY SOIL CONSERVATION DISTRICT
590 HUGHES DRIVE
HAMILTON SQUARE, N.J. 08690

REQUIREMENTS FOR LAND GRADING

(O009902-01/18)

THE CONTRACTOR MUST COMPLY WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (SSESCNJ) IN GENERAL, AND FOR LAND GRADING MORE SPECIFICALLY, CHAPTER 19. THESE REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING SUMMARY:

1. SUBGRADE SOILS, PRIOR TO THE APPLICATION OF TOPSOIL, MUST BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION, AND PERFORMED JUST PRIOR TO PLACEMENT OF TOPSOIL AND SEEDING.
3. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
4. COMPACTION TESTING LOCATION ARE DENOTED ON THE PLAN. A COPY OF THE PLAN, OR PORTION OF THE PLAN, MUST BE USED TO MARK LOCATIONS OF TESTS AND BE ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE AT THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT OR AGENCY HAVING JURISDICTION.
5. SOIL COMPACTION REMEDIATION OR TESTING TO PROVE REMEDIATION IS NOT NECESSARY IS REQUIRED IN AREAS WHERE PERMANENT VEGETATION IS TO BE ESTABLISHED THAT ARE NOT OTHERWISE EXEMPTED BY THE SSESCNJ. TESTING METHOD IS TO BE SELECTED, AND SOIL COMPACTION TESTING IS TO BE PERFORMED BY THE CONTRACTOR OR OTHER PROJECT OWNER'S REPRESENTATIVE (E.G., ENGINEER).
6. A MINIMUM OF TWO (2) TESTS ARE TO BE PERFORMED FOR PROJECTS WITH AN OVERALL LIMIT OF DISTURBANCE OF UP TO ONE (1) ACRE AND AT A RATE OF TWO (2) TESTS PER ACRE OF THE OVERALL LIMIT OF DISTURBANCE FOR LARGER AREAS WHICH ARE TO BE EVENLY DISTRIBUTED OVER THE AREA OF DISTURBANCE SUBJECT TO TESTING.
7. TESTS ARE TO BE PERFORMED IN AREAS REPRESENTATIVE OF THE CONSTRUCTION ACTIVITY PREVAILING IN THE AREA.
8. IN THE EVENT THIS TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE TESTING METHOD, THE CONTRACTOR/OWNER WILL HAVE THE OPTION TO PERFORM COMPACTION MITIGATION OVER THE ENTIRE DISTURBED AREA (EXCLUDING EXEMPT AREAS) OR TO PERFORM ADDITIONAL TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION.
9. SOIL TEST METHOD OPTIONS - THE OPTIONS THAT ARE PERMITTED ARE CONTAINED IN THE SSESCNJ, CHAPTER 19, WHICH PROVIDES SPECIFICATIONS FOR EACH OPTION THAT MUST BE FOLLOWED. THE OPTIONS INCLUDE THE FOLLOWING:
   A. PROBING WIRE TEST METHOD
   B. HANDHELD SOIL PENETROMETER TEST METHOD
   C. TUBE BULK DENSITY TEST METHOD
   D. NUCLEAR DENSITY TEST METHOD

MAXIMUM DRY BULK DENSITIES (GRAMS/CUBIC CENTIMETER) BY SOIL TYPE

SOIL TYPE/TEXTURE	*BULK DENSITY G/CC*
COARSE, MEDIUM AND FINE SANDS AND LOAMY SANDS	1.80
VERY FINE SAND AND LOAMY VERY FINE SAND	1.77
SANDY LOAM	1.75
LOAM, SANDY CLAY LOAM	1.70
CLAY LOAM	1.65
SANDY CLAY	1.60
SILT, SILT LOAM	1.55
SILTY CLAY LOAM	1.50
SILTY CLAY	1.45
CLAY	1.40

SOURCE: USDA NATURAL RESOURCE CONSERVATION SERVICE, SOIL QUALITY INFORMATION SHEET, SOIL QUANTITY RESOURCE CONCERNS: COMPACTION, APRIL 1996.

   E. ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED, SUBJECT TO DISTRICT PRE-APPROVAL.

10. PROCEDURES FOR SOIL COMPACTION MITIGATION
    IF SUBGRADE SOILS ARE DETERMINED TO BE EXCESSIVELY COMPACTED BY TESTING OPTION INDICATED ABOVE, PROCEDURES MUST BE IMPLEMENTED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. RESTORATION OF COMPACTED SOILS IS TO BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) OR IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER.
11. INSTALLATION REQUIREMENTS
    A. TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETATIVE MATTER WHICH CAN INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS MUST BE REMOVED AND DISPOSED OF ACCORDING TO THE PLAN.
    B. TOPSOIL IS TO BE STRIPPED AND STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISH GRADING OF ALL EXPOSED AREAS REQUIRING TOPSOIL. SSESCNJ STANDARD FOR TOPSOILING, PG. 8-1.
    C. TOPSOIL MUST BE APPLIED UNIFORMLY APPLIED TO AN AVERAGE DEPTH OF 5 INCHES, WITH A MINIMUM DEPTH OF 4 INCHES REQUIRED. IF SPECIAL REGULATIONS AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE, ALTERNATE TOPSOIL DEPTHS MAY BE CONSIDERED. SEE SSESCNJ STANDARD FOR TOPSOILING, PG. 8-2.
    D. FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT CAN BE DETRIMENTAL TO CONSTRUCTING STABLE FILLS.
    E. ALL STRUCTURAL FILLS MUST BE COMPACTED AS DETERMINED BY STRUCTURAL ENGINEERING REQUIREMENTS FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESSIVE SATURATION.
    F. ALL DISTURBED AREAS MUST BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND MUST BE PROTECTED FROM EROSION. SEE SSESCNJ STANDARDS FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, PG. 4-1.
    G. TREES TO BE RETAINED MUST BE PROTECTED AS NECESSARY IN ACCORDANCE WITH SSESCNJ STANDARD FOR TREE PROTECTION DURING CONSTRUCTION, PG. 9-1.
12. UPON COMPLETION OF SOIL COMPACTION TESTING, A COMPLETED "SOIL COMPACTION MITIGATION VERIFICATION FORM", ALONG WITH TEST RESULTS, MUST BE SUBMITTED TO THE SOIL CONSERVATION DISTRICT PRIOR TO A REQUEST FOR A "REPORT OF COMPLIANCE INSPECTION".

STANDARD FOR TOPSOILING:

(SOURCE: THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION (A.K.A. THE STANDARDS)) (07/2017)

1. MATERIALS
   A. TOPSOIL SHOULD BE FRIABLE, LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS AND STONES, AND CONTAIN NO TOXIC SUBSTANCE OR ADVERSE CHEMICAL OR PHYSICAL CONDITION THAT MAY BE HARMFUL TO PLANT GROWTH. SOLUBLE SALTS SHOULD NOT BE EXCESSIVE (CONDUCTIVITY LESS THAN 0.5 MILLIMHOS PER CENTIMETER. MORE THAN 0.5 MILLIMHOS MAY DESICCATE SEEDLINGS AND ADVERSELY IMPACT GROWTH). IMPORTED TOPSOIL SHALL HAVE A MINIMUM ORGANIC MATTER CONTENT OF 2.75 PERCENT. ORGANIC MATTER CONTENT MAY BE RAISED BY ADDITIVES.
   B. TOPSOIL SUBSTITUTE IS A SOIL MATERIAL WHICH MAY HAVE BEEN AMENDED WITH SAND, SILT, CLAY, ORGANIC MATTER, FERTILIZER OR LIME AND HAS THE APPEARANCE OF TOPSOIL. TOPSOIL SUBSTITUTES MAY BE UTILIZED ON SITES WITH INSUFFICIENT TOPSOIL FOR ESTABLISHING PERMANENT VEGETATION. ALL TOPSOIL SUBSTITUTE MATERIALS SHALL MEET THE REQUIREMENTS OF TOPSOIL NOTED ABOVE. SOIL TESTS SHALL BE PERFORMED TO DETERMINE THE COMPONENTS OF SAND, SILT, CLAY, ORGANIC MATTER, SOLUBLE SALTS AND PH LEVEL.
2. STRIPPING AND STOCKPILING
   A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.
   B. STRIPPING SHALL BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA.
   C. WHERE FEASIBLE, LIME MAY BE APPLIED BEFORE STRIPPING AT A RATE DETERMINED BY SOIL TESTS TO BRING THE SOIL PH TO APPROXIMATELY 6.5.
   D. A 4-6 INCH STRIPPING DEPTH IS COMMON, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL.
   E. STOCKPILES OF TOPSOIL SHOULD BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
   F. STOCKPILES SHOULD BE VEGETATED IN ACCORDANCE WITH STANDARDS; SEE THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION. WEEDS SHOULD NOT BE ALLOWED TO GROW ON STOCKPILES.
3. SITE PREPARATION
   A. GRADE AT THE ONSET OF THE OPTIMAL SEEDING PERIOD SO AS TO MINIMIZE THE DURATION AND AREA OF EXPOSURE OF DISTURBED SOIL TO EROSION. IMMEDIATELY PROCEED TO ESTABLISH VEGETATIVE COVER IN ACCORDANCE WITH THE SPECIFIED SEED MIXTURE. TIME IS OF THE ESSENCE
   B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SEE THE STANDARDS FOR LAND GRADING.
   C. AS GUIDANCE FOR IDEAL CONDITIONS, SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT. LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL TO A PH OF APPROXIMATELY 6.5 AND INCORPORATED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES.
   D. PRIOR TO TOPSOILING, THE SUBSOIL SHALL BE IN COMPLIANCE WITH THE STANDARDS FOR LAND GRADING.
   E. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENTATION BASINS, AND WATERWAYS.
4. APPLYING TOPSOIL
   A. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE; I.E., LESS THAN FIELD CAPACITY.
   B. A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5.0 INCHES, MINIMUM OF 4 INCHES, FIRMED IN PLACE IS REQUIRED. ALTERNATIVE DEPTHS MAY BE CONSIDERED WHERE SPECIAL REGULATORY AND/OR INDUSTRY DESIGN STANDARDS ARE APPROPRIATE SUCH AS ON GOLF COURSES, SPORTS FIELDS, LANDFILL CAPPING, ETC.. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE, IN ACCORDANCE WITH THE STANDARDS FOR MANAGEMENT OF HIGH ACID PRODUCING SOIL.
   C. PURSUANT TO THE REQUIREMENTS IN SECTION 7 OF THE STANDARDS FOR PERMANENT VEGETATIVE STABILIZATION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT PERMANENT VEGETATIVE COVER BECOMES ESTABLISHED ON AT LEAST 80% OF THE SOILS TO BE STABILIZED WITH VEGETATION. FAILURE TO ACHIEVE THE MINIMUM COVERAGE MAY REQUIRE ADDITIONAL WORK TO BE PERFORMED BY THE CONTRACTOR TO INCLUDE SOME OR ALL OF THE FOLLOWING: SUPPLEMENTAL SEEDING, RE-APPLICATION OF LIME AND FERTILIZERS, AND/OR THE ADDITION OF ORGANIC MATTER (I.E. COMPOST) AS A TOP DRESSING. SUCH ADDITIONAL MEASURES SHALL BE BASED ON SOIL TESTS SUCH AS THOSE OFFERED BY RUTGERS COOPERATIVE EXTENSION SERVICE OR OTHER APPROVED LABORATORY FACILITIES QUALIFIED TO TEST SOIL SAMPLES FOR AGRONOMIC PROPERTIES.

STABILIZATION SPECIFICATIONS - PERMANENT SEEDING

- LIME - 90 LBS/1.000 SF GROUND LIMESTONE; FERTILIZER - 14 LBS/1,000 SF; 20-10-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
- SEEDS:

  ROUGH BLUEGRASS: 90 LBS/ACRE OR 2 LBS/1,000 S.F.
  STRONG CREEPING RED FESCUE: 130 LBS/ACRE OR 3 LBS/1,000 S.F.

- PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
  A. MULCH IS REQUIRED ON ALL SEEDING. MULCH MATERIALS TO BE UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 TO 90 LBS/1,000 SQ. FT, EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BIND, THE RATE OF APPLICATION IS 3 TONS PER ACRE.
  B. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRUBUTION OF HAND-SPREAD MULCH, DIVIDE THE AREA INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND DISTRIBUTE 70-90 LBS WITHIN EACH SECTION.
  C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
     1. PEG AND TWINE
     2. MULCH NETTING
     3. CRIMPER
     4. LIQUID MULCH-BINDERS

STABILIZATION SPECIFICATIONS TEMPORARY SEEDING AND MULCHING:

- LIME
  90 LBS/1.000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
- SEEDS
  COOL SEASON:
  PERENNIAL RYE GRASS 100 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
  WARM SEASON:
  PEARL MILLET AT 20 LBS/ACRE OR OTHER APPROVED SEEDS: PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH
  SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

STABILIZATION SPECIFICATIONS PERMANENT SEEDING:

(SITE SPECIFIC)

- PERMANENT STABILIZATION SPECIFICATIONS:
  MULCHING
  A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 TO 90 LBS/1,000 SQ. FT.
  B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
  C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
     (1) PEG AND TWINE
     (2) MULCH NETTING
     (3) LIQUID MULCH-BINDERS

MULCH STABILIZATION

A. UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A
MULCH ANCHORING TOOL, LIQUID MULCH BINDERS. OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL
CONSERVATION DISTRICT.
B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1.500 POUNDS/ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY
A HYOROSEEOER.
D. MULCH NETTING SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.
E. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY
ONE OF THE FOLLOWING METHODS:
(1) PEG AND TWINE
(2) MULCH NETTING
(3) LIQUID MULCH-BINDERS

SOIL DE-COMPACTION AND TESTING REQUIREMENTS

(www.nj.gov/agriculture/divisions/anr/nrc/njerosion.html) (12/8/2017)

SOIL COMPACTION TESTING REQUIREMENTS

1. SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) MUST BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
2. AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
3. COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN MUST BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION MITIGATION VERIFICATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
4. IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING MUST BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

COMPACTION TESTING METHODS

A. PROBING WIRE TEST (SEE DETAIL)
B. HAND-HELD PENETROMETER TEST (SEE DETAIL)
C. TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED
D. NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF/WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

PROCEDURES FOR SOIL COMPACTION MITIGATION

PROCEDURES MUST BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS MUST BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.). IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

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MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS: 1885 N. OLDEN AVENUE

TOWNSHIP: EWING | STATE: NJ

COUNTY: MERCER

REGIONAL DWG. NO: LC #29-0006

CAD FILE: PY210029-CNDS-0A

PLAN DESCRIPTION: *SOIL EROSION & SEDIMENT POLLUTION CONTROL NOTES*

C-602

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

ISSUE REF	BY	DESCRIPTION	DATE	REV

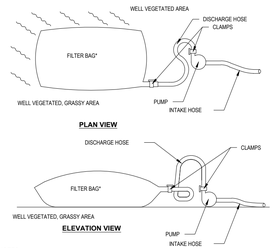
FINAL PLAN SIGNATURES
P.M. ____
G.C. ____
O/O ____

McDonald's®

OFFICE: BETHESDA / PHILADELPHIA REGION
ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817

PLAN APPROVALS
SIGNATURE (2 REQUIRED) | DATE
REGIONAL MGR.
CONST. MGR.
OPERATIONS DEPT.
REAL ESTATE DEPT.
CO-SIGN SIGNATURES
CONTRACTOR
OWNER

R:\21\PY210029\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PY210029-CNDS-0A----->LAYOUT: C-602 E&S NOTES
CR



NOTES

1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.

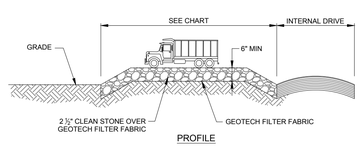
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME ½ FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.

3. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.

4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.

5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR ½ THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.

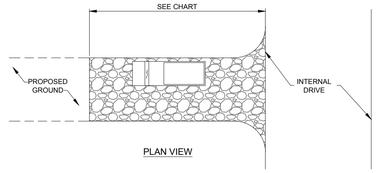
PUMPED WATER FILTER BAG DETAIL



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)	

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

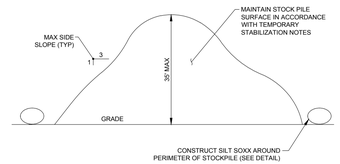
CHART



NOTES:
1. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE ANTI-TRACKING PAD FOR THE DURATION OF THE PROJECT, SO THAT THE ROAD IS KEPT CLEAN.
2. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.
3. CONTRACTOR SHALL APPLY TOP DRESSING WITH REPLACEMENT/ SUPPLEMENTAL STONE AS NECESSARY DURING THE PROJECT TO MAINTAIN ADEQUATE ANTI-TRACKING FUNCTION.

STABILIZED CONSTRUCTION ENTRANCE AND ANTI-TRACKING PAD

NOT TO SCALE

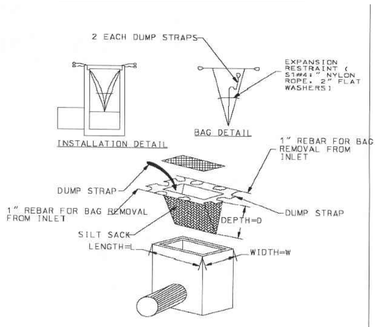


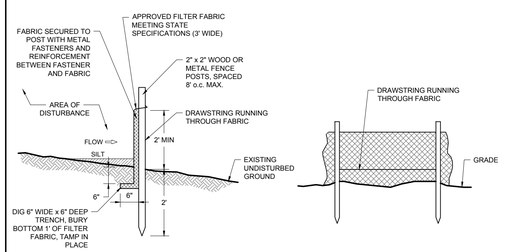
NOTE:
1. CONTRACTOR SHALL SEPARATE TOP SOIL AND GENERAL EXCAVATED MATERIAL INTO SEPARATE STOCKPILES.
2. CONTRACTOR SHALL PROTECT EXCAVATED REUSABLE SOILS FROM SOILS CONTAMINATED WITH DELETERIOUS MATERIAL.

TEMPORARY SOIL STOCKPILE

NOT TO SCALE (O07990 - 09.25.08)

INLET PROTECTION DETAIL



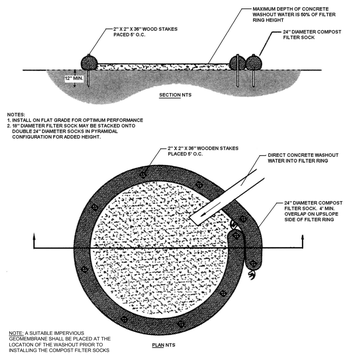


NOTES:
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
2. THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5%.
3. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE MUNICIPAL ENGINEER OR SOIL CONSERVATION DISTRICT.
6. THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE AND ACCEPTED BY THE MUNICIPAL ENGINEER OR SOIL CONSERVATION DISTRICT.
7. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD A MIN. DIAMETER THICKNESS OF 1 ½ INCHES.
8. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
9. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING TO INDICATE LIMIT OF SILT ACCUMULATION. CONTRACTOR MUST CLEAR THE ACCUMULATED SILT WHEN LIMIT IS REACHED.

SILT FENCE DETAIL

NOT TO SCALE (O039902 - 1/2017)

FIGURE 3.18
Typical Compost Sock Washout Installation



NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
2. 30" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

NOTE: A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE COMPOST FILTER SOCKS

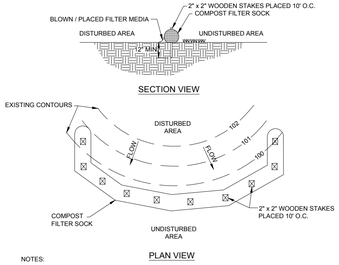
TABLE 4.1
Compost Sock Fabric Minimum Specifications

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
Two-ply systems					
Inner Containment Netting	HDPE biaxial net Continuously wound Fusion-welded junctures 3/4" X 3/4" Max. aperture size				
Outer Filtration Mesh	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch) 3/16" Max. aperture size				
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.					

Filtrexx & JMD

Compost Standards

ORGANIC MATTER CONTENT	25%-100% (DRY WEIGHT BASE)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5-8.5
MOISTURE CONTENT	30%-60%
PARTICLE SIZE	30%-50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM



NOTES:
1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. STAKES MAY BE INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER. *
2. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
3. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
4. SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
5. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
6. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
7. SOCKS PLACED ON PAVED SURFACES SHOULD BE HELD IN PLACE WITH CONCRETE BLOCKS PLACED IMMEDIATELY DOWNSLOPE OF THE SOCK AT THE SAME INTERVALS RECOMMENDED FOR STAKES.

COMPOST FILTER SOCK DETAIL

BOHLER™
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone:(610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com
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PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. PE055733
NEW JERSEY LICENSE No. 24GE04493300
DELAWARE LICENSE No. 18333

MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS
1885 N. OLDEN AVENUE

TOWNSHIP: EWING
STATE: NJ
COUNTY: MERCER

REGIONAL DWG. NO: LC #29-0006
CAD FILE: PY210029-CNDS-0A

PLAN DESCRIPTION: *SOIL EROSION & SEDIMENT POLLUTION CONTROL DETAILS*

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

C-603

REV	DATE	DESCRIPTION	BY	ISSUE REF

FINAL PLAN SIGNATURES
P.M.
G.C.
O/O

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
CONST. MGR	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	

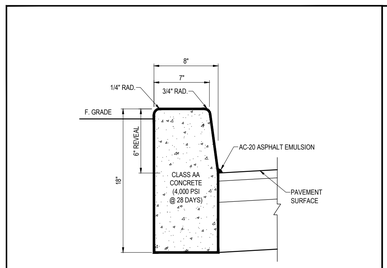
CO-SIGN SIGNATURES

CONTRACTOR	
OWNER	

McDonald's®

OFFICE: BETHESDA / PHILADELPHIA REGION
ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MD 20817

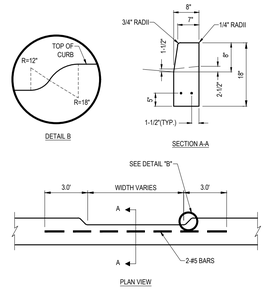
R:\PY\PY21002\9CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PY210029-CNDS-0A-----LAYOUT: C-603 E&S NOTES
CR



TRANSVERSE JOINTS 3/4" WIDE SHALL BE INSTALLED IN THE CURB 20' APART AND SHALL BE FILLED WITH CELLULAR COMPRESSION MATERIAL AS SPECIFIED RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

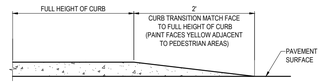
P-1 ***TYPICAL CONCRETE CURB DETAIL***

NOT TO SCALE



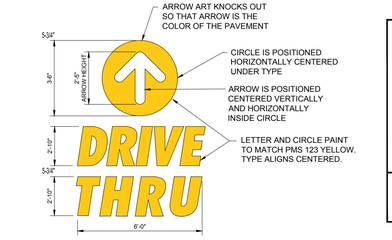
P-6 ***DEPRESSED CURB DETAIL***

NOT TO SCALE



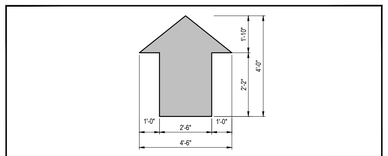
P-3 ***TAPERED CURB DETAIL***

NOT TO SCALE



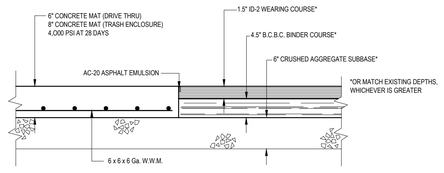
PAINTED TRAFFIC ARROWS & LETTERS DETAIL

NO SCALE



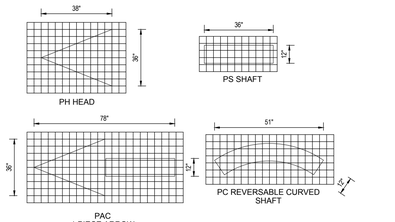
T-7 ***WHITE PAINTED TRAFFIC ARROW DETAIL***

NOT TO SCALE



CONCRETE & PAVEMENT SECTIONS (ON-SITE)

NO SCALE



MEETS NO STATE OR FEDERAL DESIGN STANDARDS.

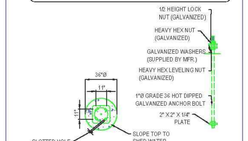
DOUBLE HEADED ARROW DETAIL

NO SCALE

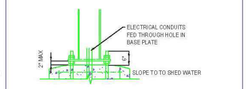
NOTES:
-DESIGN CODES
IBC 2015
ASCE 7-05
ACI 318-08
AISC 13TH EDITION
AWS D1.1
WIND SPEED --- 150 MPH, 3 SEC GUST
-EXPOSURE C

-USE 4000 PSI CONCRETE COMPRESSIVE STRENGTH (f'c) W/C RATIO - 0.45
-REINFORCING STEEL - USE ASTM615 GRADE 60 STEEL
-PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH X2.
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
-3" MIN. CONCRETE COVER FOR REINFORCEMENT
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
AXIAL LOAD --- 1560 LBS
SHEAR FORCE --- 2800 LBS
OVERTURNING MOMENT --- 15,800 LB-FT
AIR ENTRAINMENT SHALL BE 6% WITH A TOLE RANGE OF ±1.5% (3/4" AGGREGATE)
CONCRETE SHALL HAVE A SLUMP NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1"

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
-HOT DIPPED GALVANIZED BOLTS
-F1554 GRADE 36 ANCHOR BOLTS
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



GENERAL NOTES:
-THE FOLLOWING CODES WERE USED IN DESIGN:
- IBC 2015
- ASCE 7-05
- ACI 318-08
- AISC 13TH EDITION
- AWS D1.1
- WIND SPEED 150 MPH, 3 SEC GUST.
-EXPOSURE C
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:
- AXIAL -1560 LBS
- SHEAR - 2800 LBS
- MOMENT - 15,800 LB-FT
-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 1949PSF/FT (X2)
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

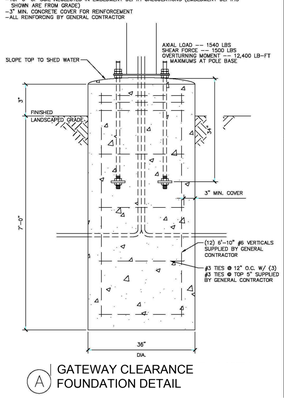
CONCRETE:
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 95% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D-698-78 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH (f'c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.1.5 A OR MINIMUM OF 4000 PSI 90C 0.45
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6 OR MINIMUM AS SPECIFIED IN THIS DRAWING
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.4 & 2.13 A OR MINIMUM AS SPECIFIED IN THIS DRAWING
-WATER CONTENT RATION SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A OR MINIMUM AS SPECIFIED IN THIS DRAWING
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14 OR MINIMUM AS SPECIFIED IN THIS DRAWING
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.3.
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy = 35ksi)
-HSS ROUND SECTION: ASTM A500 GRADE B (Fy = 42ksi)
-HSS SQUARE/RECTANGULAR SECTIONS ASTM A500 GRADE B (Fy = 46ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: GRADE 60 – BY GENERAL CONTRACTOR
-NUTS: ASSIGN OR A194-2H
-WASHERS: A36
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS.
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER.

X ***ORDER POINT FOUNDATION DETAIL***

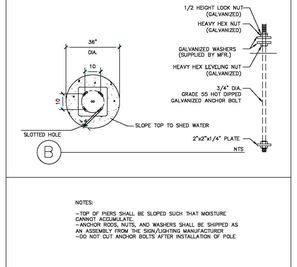
N.T.S.

NOTE:
-DESIGN CODES
IBC 2015
ASCE 7-05
ACI 318-08
AISC 13TH EDITION
AWS D1.1
WIND SPEED --- 150 MPH, 3 SEC GUST
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:
AXIAL LOAD --- 1540 LBS
SHEAR FORCE --- 1500 LBS
OVERTURNING MOMENT --- 12,400 LB-FT
-USE 3000 PSI CONCRETE COMPRESSIVE STRENGTH (f'c)
-PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH x2.
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
-3" MIN. CONCRETE COVER FOR REINFORCEMENT
-ALL REINFORCING BY GENERAL CONTRACTOR



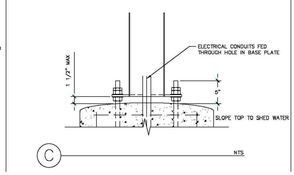
A GATEWAY CLEARANCE FOUNDATION DETAIL

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE
-HOT DIPPED GALVANIZED BOLTS
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



B

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



C

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
- IBC 2015
- ASCE 7-05
- ACI 318-08
- AISC 13TH EDITION
- AWS D1.1
- WIND SPEED 150 MPH, 3 SEC GUST.
-EXPOSURE C
- DESIGN LOADS DERIVED FROM THESE CODES AND FORCES:
- SHEAR - 1500 LBS
- MOMENT - 12,400 LB-FT
-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT X2)
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:
-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 95PE OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698--78 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH (f'c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.1.5
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
-AIR ENTRAINMENT SHALL CONFORMWITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 2.4 & 2.13-A
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
-PERFORMED BY GENERAL CONTRACTOR.
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy = 35ksi)
-HSS ROUND SECTION: ASTN A500 GRADE B (Fy = 42ksi)
-HSS SQUARE/RECTANGULAR SECTIONS ASTM A500 GRADE B (Fy = 46ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: GRADE 60 – BY GENERAL CONTRACTOR
-NUTS: A563DH OR A194-2H
-WASHERS: F436
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

REV	DATE	DESCRIPTION	BY	ISSUE REF

FINAL PLAN SIGNATURES

P.M. G.C. O/O

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OFFICE BETHESDA / PHILADELPHIA REGION

ADDRESS 6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

PLAN APPROVALS

SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.	
CONST. MGR.	
OPERATIONS DEPT.	
REAL ESTATE DEPT.	
CO-SIGN SIGNATURES	
CONTRACTOR	
OWNER	

BOHLER™

74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone:(610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

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PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE No. PE055733
NEW JERSEY LICENSE No. 24GE04493300
DELAWARE LICENSE No. 18333

MINOR SITE PLAN

PLAN SCALE: AS NOTED

STREET ADDRESS
1885 N. OLDEN AVENUE

TOWNSHIP
EWING

STATE
NJ

COUNTY
MERCER

REGIONAL DWG. NO
LC #29-0006

CAD FILE: PY210029-CNDS-0A

PLAN DESCRIPTION
DETAILS SHEET

STATUS	DATE	BY
PRELIMINARY	08/05/2022	CR
PLAN CHECKED	08/05/2022	MEJ
AS-BUILT	XXXX	XXXX

C-901

R:\PY\PY210029\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PY210029-CNDS-0A-----LAYOUT: C-901 DETAILS

CR